

HAND OUTS

**CITY COUNCIL
MEETING**

NOVEMBER 7, 2023

La Quinta Village Apartments

Troutdale Village, LLC.

CITY COUNCIL MEETING - NOVEMBER 7, 2023 - HAND-OUT BY APPLICANT IRWIN PARTNERS
PUBLIC HEARING ITEM NO. 1 - LA QUINTA VILLAGE APARTMENTS

PROJECT DATA

PROJECT ADDRESS
NE CORNER OF WASHINGTON STREET & AVENUE 50

APPLICANT/ARCHITECT NUMBER
145-078-016

LEGAL DESCRIPTION
13.84 ACRES BL. 14 POR LOT 1 L&S 033-003 DESERT CLUB M/V-NOR TR 2 Lot 1 Subd. #500
Name: DESERT CLUB M/V-NOR TR 2 Acres 010 84 M/L Lot 1, Parcel 1, Map Type Map Book
Map No: B 033 Map Plat P 009 Porton Lot Plat

SCOPE OF WORK
PROPOSED TWO STORY APARTMENT BUILDINGS WITH CLUBHOUSE, GARAGES, CARPORTS, POOL, AND COMMUNITY SPACES AND NECESSARY HARDSCAPE AND LANDSCAPE

PROPOSED LANDUSE - RENTAL APARTMENTS

SITE DATA

EXISTING ZONING	RMH - MEDIUM/HIGH DENSITY RESIDENTIAL (8-12 UNITS PER ACRE)
PROPOSED ZONING	INCLUDES AFFORDABLE DENSITY BONUS OVERLAY RMH - MEDIUM/HIGH DENSITY RESIDENTIAL (8-12 UNITS PER ACRE) WITH DENSITY BONUS - SEE PROJECT INFO BELOW
SITE AREA	611,146 S.F. / 14.03 ACRES
BUILDING FOOTPRINT	107,498 S.F.
MAX LOT COVERAGE	60% OF NET LOT AREA = 366,688 SF
LOT COVERAGE PROPOSED	37% = 212,591 SF
TOTAL BUILDING AREA	252,190 SF
TOTAL PROPOSED DWELLING UNITS	252 UNITS / 214,096 SF

MIN. COMMON OPEN AREA REQUIRED: 32% OF NET PROJECT AREA = 193,144 SF
COMMON OPEN AREA PROVIDED: 34.6% = 212,482 SF

ACTIVE RECREATION AREA REQUIRED: 32% OF COMMON OPEN AREA REQUIRED = 55,003 SF
ACTIVE RECREATION AREA PROVIDED: 31.1% = 57,110 SF

MINIMUM FRONT SETBACK: 23'-0"
MINIMUM INTERIOR SIDE YARD SETBACK: 5'-0"
MINIMUM EXTERIOR SIDE YARD SETBACK: 10'-0"
MINIMUM REAR YARD SETBACK: 15'-0"
MIN. PERIMETER LANDSCAPE SETBACK: 16'-0"
AVG PERIMETER LANDSCAPE SETBACK: 20'-0"
MAX NO OF STORES ALLOWED PER RMH ZONING: 2

PER LA QUINTA GENERAL PLAN, EXHIBIT 3 G
PRIMAARY ROAD CORRIDOR: WASHINGTON STREET
SECONDARY ROAD CORRIDOR: AVENUE 50
RAILWAY CORRIDOR SETBACK: 100'-0"
ALLOWABLE BLDG HEIGHT AT JUDGE CORRIDOR: 22'-0" (SEE SPECIFIC PLAN FOR ADD. INFO)

BUILDING CONSTRUCTION

OCCUPANCY TYPES	R, A, 2, A, 3 AND B
CONSTRUCTION TYPE	TYPE V-A
SPRINKLERS	YES FULLY SPRINKLERED (NFPA12)

ALLOWABLE BUILDING HEIGHT PER RMH ZONING: 28'-0"
PROPOSED BUILDING HEIGHT AT CLUBHOUSE: 19'-0"
PROPOSED BUILDING HEIGHT AT 2 STORY BLDGS: 29'-0"

PLANS SHALL BE PREPARED TO THE APPLICABLE CODE AT THE TIME OF SUBMITTAL FOR THE CITY OF TROUTDALE, CALIFORNIA. THE APPLICABLE CODE IS THE 2018 CALIFORNIA BUILDING CODE.



SHEET INDEX

T1	Title
CIVIL	
C1	CIVIL SITE PLAN
C2	CONCEPTUAL GRADING PLAN
C3	PRELIMINARY UTILITY PLAN
ARCHITECTURAL	
A01	Site Plan
A02	First Floor Plan
A03	Second Floor Plan
A04	Roof Plan
A05	Unit Plans
A06	Clubhouse
A07	Blgd 1 - Elevations
A08	Blgd 2 - Elevations
A09	Blgd 3 - Elevations
A10	Blgd 4 - Elevations
A11	Blgd 5 - Elevations
A12	Blgd 6 - Elevations
A13	Blgd 7 - Elevations
A14	Blgd 8 - Elevations
A15	Blgd 9 - Elevations
A16	Blgd 10 - Elevations
A17	Blgd 11 - Elevations
A18	Blgd 12 - Elevations
A19	Exterior Elevations
A20	3D Views
A21	3D Views & Materials Board
A22	Line of Sight Diagrams
LANDSCAPE	
LP-1	Conceptual Landscape Plan
LP-2	Typical Building Planting Exhibit
LP-3	Slope Planning Exhibit
LP-4	Pool Area
LP-5	Entry
LP-6	Conceptual Wall & Fence Plan

PROJECT INFORMATION

UNITY MIX

Unit Type	Unit Name	Qty	Area (SF)	Total (SF)
1-Bed Apartment	1A-ADA	34	673	22882
1-Bed Apartment	1A-STD	30	673	20,180
1-Bed Apartment	1B-ADA	34	755	25,670
1-Bed Apartment	1B-STD	34	755	25,670
2-Bed Apartment	2A-ADA	68	960	65,280
2-Bed Apartment	2A-STD	52	960	49,820
		252	208,612 sq ft	

DENSITY CALCULATIONS

BASE DENSITY: 14.03 ACRES x 12 UNITS/ACRE = 168 BASE UNITS
TOTAL UNITS PROPOSED 252 UNITS

50% DENSITY BONUS IS BEING PROPOSED
14.03 ACRES x 18 UNITS/ACRE = 252 PROPOSED UNITS

FOR 50% DENSITY BONUS, 42% OF BASE UNITS NEED TO BE MODERATE INCOME UNITS BASED ON LQMC 9.60-260 DENSITY BONUS PERCENTAGES
42% = 106 = 74 MODERATE INCOME UNITS

MARKET RATE UNITS: 178
MODERATE INCOME UNITS: 74
TOTAL UNITS: 252

MARKET RATE UNITS PROVIDED: 53 1-BED UNITS
MODERATE INCOME UNITS PROVIDED: 39 1-BED UNITS (52% OF 74 UNITS)
74 TOTAL MARKET RATE UNITS PROVIDED
74 TOTAL MODERATE INCOME UNITS PROVIDED

Gross Building Area

Area (SF)	
Blgd 01	18,734
Blgd 02	15,534
Blgd 03	22,895
Blgd 04	26,536
Blgd 05	29,612
Blgd 06	24,393
Blgd 07 & 12	50,438
Blgd 08	22,894
Blgd 09	27,131
Blgd 10	19,487
Blgd 11	17,649
Clubhouse (1-STORY)	3,019
278,502 sq ft	

NOTE: GROSS BUILDING AREA INCLUDES AREA WITHIN SUPERIMPOSED EXTERIOR WALLS AND AREAS OF BUILDING NOT PROVIDED WITH SURROUNDING WALLS IF WITHIN HORIZONTAL PROJECTION OF FOOT OR FLOOR AREA (COLLAGES, REVEST SHIMS AND CURBS).

Common Area Calculations

Area (SF)	
1. First Floor	
CLUBHOUSE	978
Fire Riser	12
GYM	725
HALL	168
HK	36
Office	290
RR	124
Showers	68
Stor	111
Wet Bar	36
WH	12
2,578 sq ft	

EACH DWELLING UNIT HAS 60 SF MINIMUM PRIVATE PATIO OR BALCONY
EACH BUILDING HAS ONE FIRE RISER - SEE CIVIL FOR LOCATIONS

PARKING CALCULATIONS

Parking Calcs

Qty	Area (SF)
C	300
CP	50
FEV	1
FEV HC	1
FEV VAN	1
HC	8
HC Van	2
Mail Mail	1
P	151
522	

PARKING RATIO
PER LQMC 9.60-260 (X) BY RIGHT PARKING INCENTIVE, THE FOLLOWING PARKING RATIOS SHALL APPLY TO THE ENTIRE DEVELOPMENT (INCLUDING MARKET RATE UNITS)

1-BR UNITS: 1 SPACE PER UNIT REQUIRED
2-BR UNITS: 1.5 SPACES PER UNIT REQUIRED

PARKING FACILITY BREAKDOWN

Category	Qty	Area (SF)
UNCOVERED STANDARD PARKING SPACES	151	(Includes FEV units)
UNCOVERED COMPACT PARKING SPACES	8	(Includes HC Van)
UNCOVERED ACCESSIBLE PARKING SPACES	7	(Includes 1 FEV unit)
CARPORT STANGARD PARKING SPACES	358	(Includes HC Van)
CARPORT ACCESSIBLE PARKING SPACES	5	(Includes 1 FEV unit)
TOTAL SPACES	522	(Includes 1 FEV unit)

PARKING REQUIRED (INCLUDES COVERED PARKING) PER LQMC 9.60-260 (X) BY RIGHT PARKING INCENTIVE
NOTE: LQMC 9.60-260 (X) BY RIGHT PARKING INCENTIVE AND PARKING RATIOS APPLY TO THE ENTIRE DEVELOPMENT (NOT RESTRICTED TO ONLY AFFORDABLE UNITS) PARKING RATIOS PER LQMC 9.60-260 ARE LISTED ABOVE

133 1-BR UNITS x 1 SPACE/UNIT REQUIRED = 133
100 2-BR UNITS x 1.5 SPACES/UNIT REQUIRED = 150
COMMUNITY CENTER: 1 SPACE PER 300 SF OF GROSS FLOOR AREA = 2
TOTAL SPACES REQUIRED: 285
TOTAL SPACES PROVIDED: 522

COVERED PARKING NOT REQUIRED PER LQMC 9.60-260 (X) BY RIGHT PARKING INCENTIVE
LQMC 9.60-260 (X) BY RIGHT PARKING INCENTIVE: 151 UNCOVERED
COMMUNITY CENTER: 2 UNCOVERED
TOTAL SPACES PROVIDED: 153 COVERED + 151 UNCOVERED = 304 TOTAL

NOTE: ADA AND FEV PARKING IS INCLUDED IN THE OVERALL PARKING COUNT

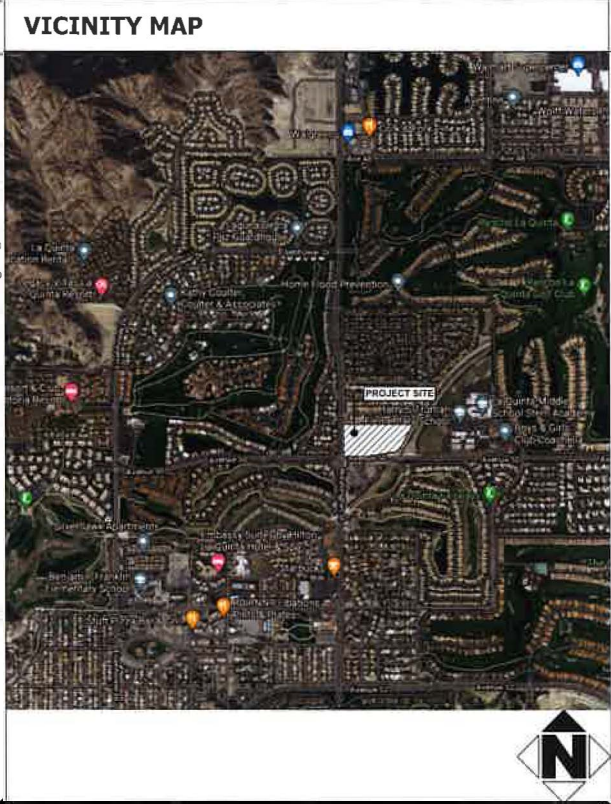
ACCESSIBLE PARKING CALCULATIONS

Category	Qty	Area (SF)
TOTAL PARKING SPACES	522	
2% OF 515 ASSIGNED PARKING SPACES	10.44	
TOTAL HC SPACES REQ'D	11	
5% OF 7 UNASSIGNED PARKING SPACES	0.25	
TOTAL HC SPACES REQ'D	1	
ADA CAR SPACES REQ'D	10	
ADA VAN SPACES REQ'D	1	
TOTAL ADA SPACES PROVIDED	12	

FUTURE EV PARKING REQUIRED PER CALGREEN 4.106.A.2

Category	Qty	Area (SF)
TOTAL PARKING SPACES	522	
10% OF TOTAL PARKING SPACES	52.2	
LONG TERM	52	
FUTURE EV SPACES REQ'D	92	
FUTURE EV SPACES PROVIDED	52	
MIN. BICYCLE PARKING REQ'D	3	
TOTAL BICYCLE PARKING PROVIDED	4	

PER CALGREEN 4.106.A.2: ELECTRICAL VEHICLE CHARGING SPACES (EV SPACES) ORANGE OR SUPPORTING FUTURE ELECTRICAL VEHICLE CHARGING EQUIPMENT (EV CHARGING) IS REQUIRED TO DEMONSTRATE PROJECT'S CAPABILITY & CAPACITY FOR FACILITATING FUTURE EV CHARGING EQUIPMENT FOR EV SPACES TO BE COVERED OR AVAILABLE UNLESS CHARGERS ARE INSTALLED FOR USE



PROJECT TEAM

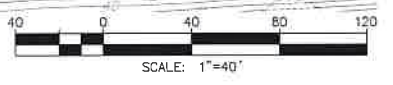
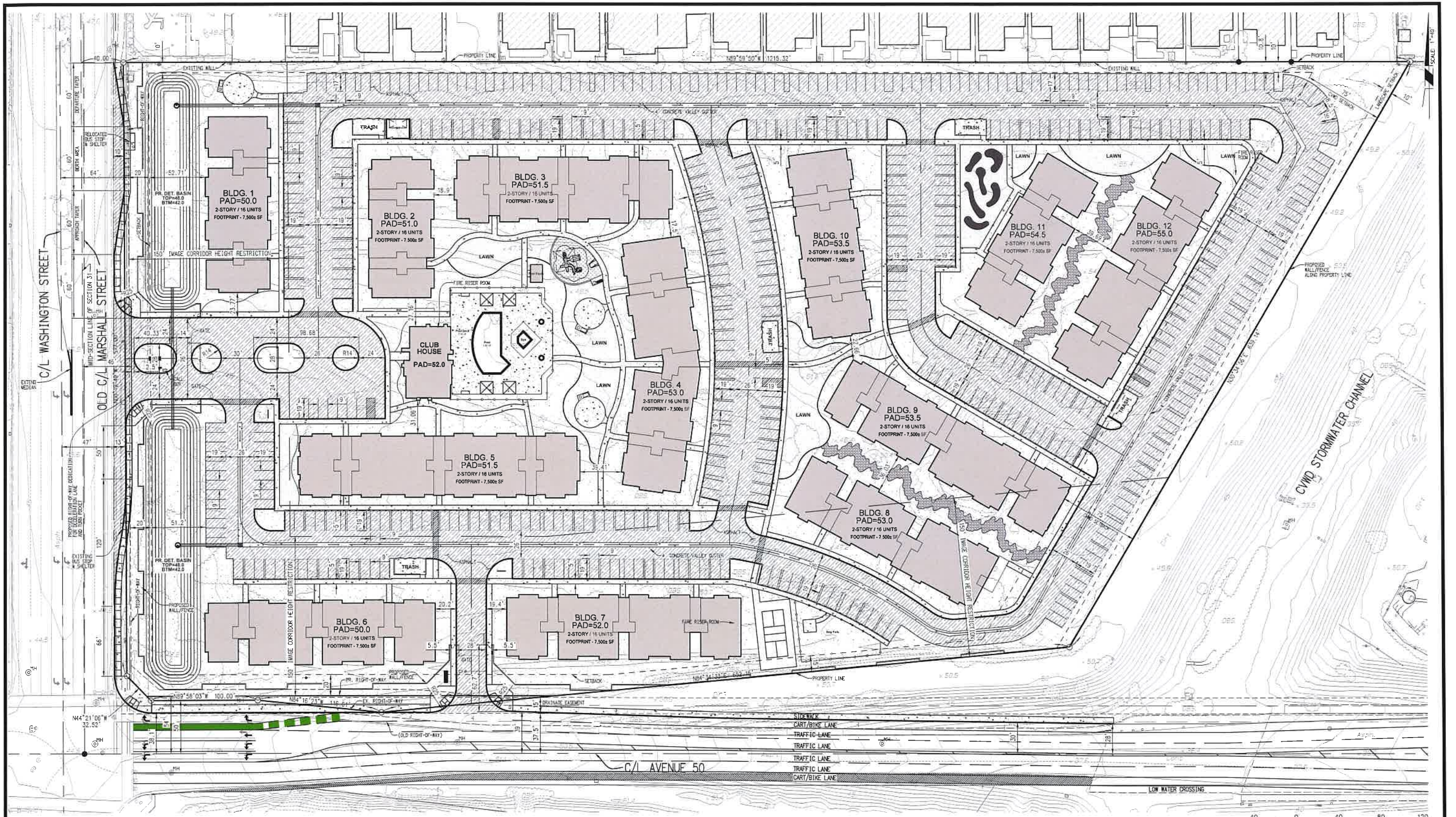
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Jeff Parker

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Steven Egan, Project Designer

LANDSCAPE ARCHITECT
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Jose Estrada, VP, Project Manager

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W: www.rtmec.com
Victor Leon, PE, Principal



ABBREVIATIONS:

C/L	CENTERLINE	TP	TOP OF PAVEMENT
EG	EXISTING GROUND	TC	TOP OF CURB
FL	FLOW LINE	TF	TOP OF FOOTING
FS	FINISH SURFACE	TW	TOP OF WALL
GB	GRADE BREAK	(XX.XX)	EXISTING ELEVATION
		SMALL	

PRINTED ON: 08/15/2023

DIGALERT
 CALL 811
 DIAL BEFORE YOU DIG
 TOLL FREE 1-877-432-4133
 AT LEAST TWO DAYS BEFORE YOU DIG
 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

BENCHMARK:
 TOP OF CURB #2006 / ELEVATION: 252.27 TC / DATUM: NAVD83 FT
 DESCRIPTION: TOP OF CURB AT THE CORNER SHOWN ON THE CITY OF RANCHO MIRAGE STREET PLANS FOR THE KESSLER OFFICE BUILDING, SHEET 9 OF 9 ON FILE IN THE OFFICE OF CITY ENGINEER OF THE CITY OF RANCHO MIRAGE AS PLAN NUMBER E0600371.

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, (2017.50 EPOCH) AS PER GRID INVERSE CALCULATIONS BETWEEN CONTINUOUSLY OPERATING REFERENCE (CORS) STATIONS P491 AND P411 PER PUBLISHED VALUES PROVIDED BY THE SURVEYS ORBIT AND PERMANENT ARRAY CENTER (SOPAC), BEING: NORTH 78° 59' 35.49" WEST.

ENGINEER			REVISIONS			COUNTY		
MARK	BY	DATE				APPR.	DATE	



EGAN CIVIL, INC.
 PO BOX 5282 LA QUINTA, CA 92248-5282
 (760) 404-7663 WWW.EGANCIVIL.COM
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 BENJAMIN DANIEL EGAN, R.C.E. 73070
 DATE: 06/06/2023

APPROVED BY: _____ DATE: _____

REVIEWED AND RECOMMENDED BY: _____ DATE: _____

PLAN CHECKED BY: _____

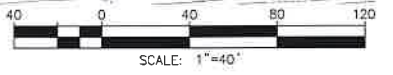
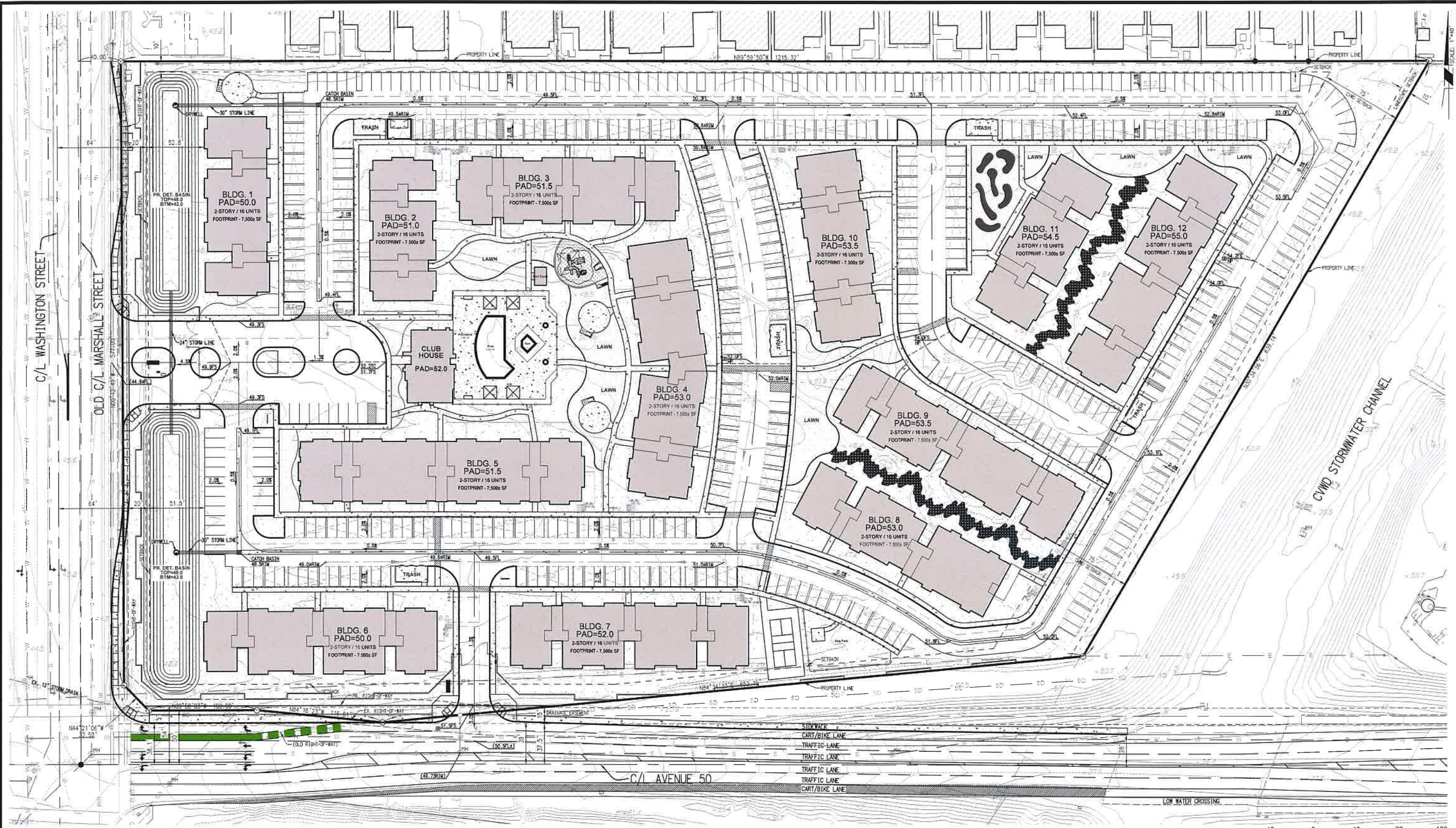
CIVIL _____

TRAFFIC _____

LANDSCAPE _____

IN THE CITY OF LA QUINTA, RIVERSIDE COUNTY, CALIFORNIA
LA QUINTA VILLAGE APARTMENTS
CIVIL SITE PLAN
 252 UNIT APARTMENT COMPLEX
 WASHINGTON ST & AVENUE 50, LA QUINTA, CA 92253
 APN 646-070-016

SHEET **1**
 OF SHEETS **3**
 CITY FILE NUMBER



ABBREVIATIONS:
 C/L CENTERLINE
 EG EXISTING GROUND
 FL FLOW LINE
 FS FINISH SURFACE
 GB GRADE BREAK
 CP COVERED PARKING

TP TOP OF PAVEMENT
 TC TOP OF CURB
 TF TOP OF FOOTING
 TW TOP OF WALL
 (XX.XX) EXISTING ELEVATION
 SMALL

EARTHWORK QUANTITIES:

RAW CUT: 5,500 YARDS
 RAW FILL: 47,400 YARDS
 IMPORT: 41,900 YARDS
 THE ABOVE QUANTITIES ARE AN ENGINEER'S ESTIMATE ONLY AND ARE PROVIDED FOR GRADING PERMIT PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES FOR THIS BID PURPOSES.

PRINTED ON: 08/16/2023

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 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

BENCHMARK:
 BENCHMARK: TOP OF CURB #2006 / ELEVATION: 252.27 TC / DATUM: NAD83 29 FT DESCRIPTION: TOP OF CURB AT THE CORNER SHOWN ON THE CITY OF RANCHO MIRAGE STREET PLAN FOR THE KESSLER OFFICE BUILDING, SHEET 9 OF 9 ON FILE IN THE OFFICE OF CITY ENGINEER OF THE CITY OF RANCHO MIRAGE AS PLAN NUMBER 0600371.
BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, (2017.50 EPOCH) AS PER GRID INVERSE CALCULATIONS BETWEEN CONTINUOUSLY OPERATING REFERENCE (C.O.R.'S) STATIONS #451 AND #451 PER PUBLISHED VALUES PROVIDED BY THE SURVEY ORBIT AND PERMANENT ARRAY CENTER (S.O.P.A.C.), BEING: NORTH 78° 59' 35.49" WEST.

ENGINEER	MARK	BY	DATE	REVISIONS

COUNTY	APPR.	DATE

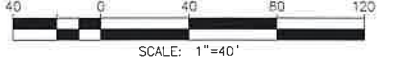
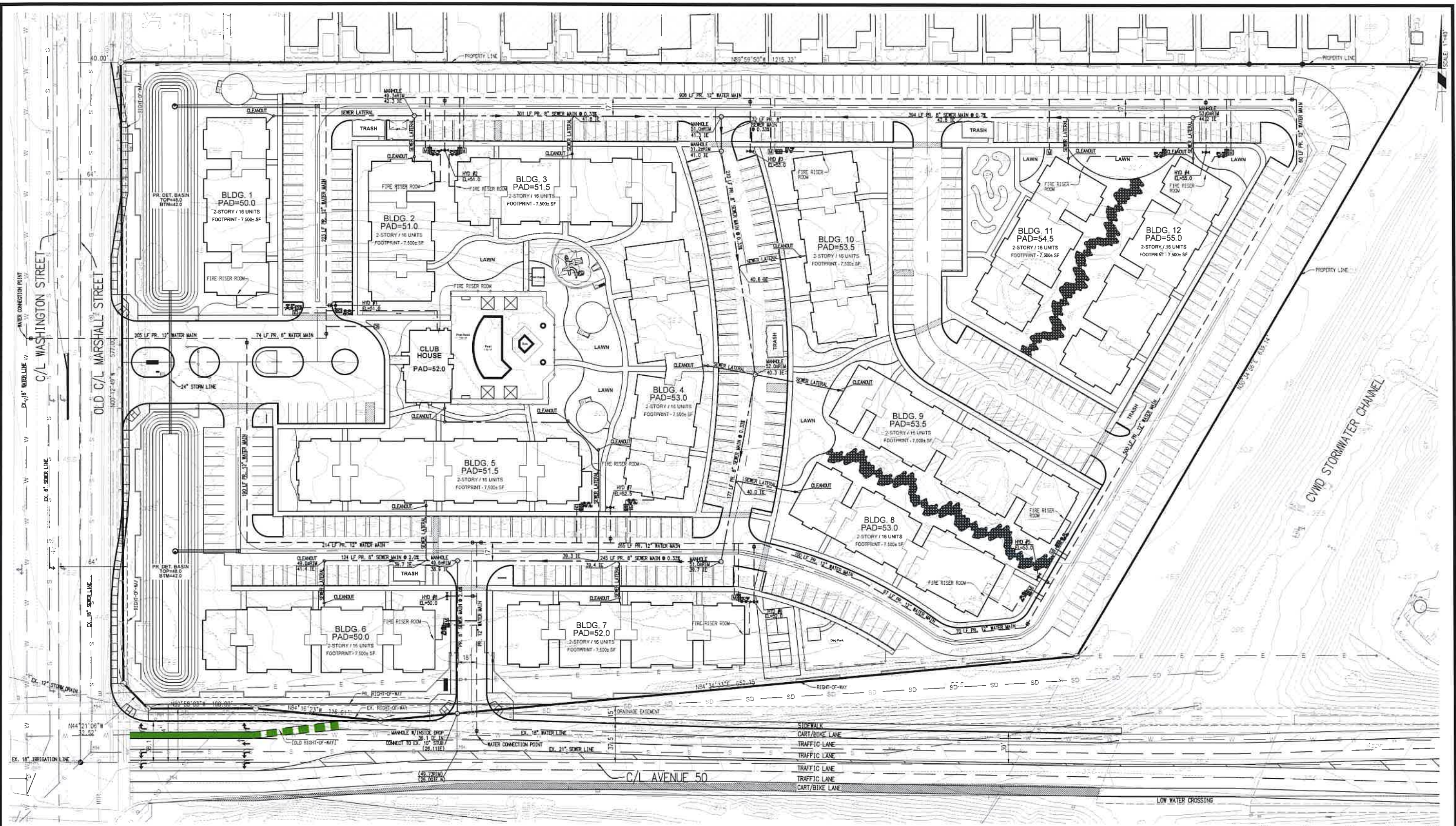
EGAN CIVIL, INC.
 PROFESSIONAL ENGINEER
 NO. 73070
 CIVIL
 STATE OF CALIFORNIA
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 BENJAMIN DANIEL EGAN, R.C.E. 73070
 DATE: 06/05/2023

APPROVED BY: _____ DATE: _____
 REVIEWED AND RECOMMENDED BY: _____ DATE: _____

PLAN CHECKED BY: _____
 CIVIL _____ DATE: _____
 TRAFFIC _____
 LANDSCAPE _____

IN THE CITY OF LA QUINTA, RIVERSIDE COUNTY, CALIFORNIA
 LA QUINTA VILLAGE APARTMENTS
 CONCEPTUAL GRADING PLAN
 252 UNIT APARTMENT COMPLEX
 WASHINGTON ST & AVENUE 50, LA QUINTA, CA 92253
 APN 646-070-015

SHEET 2 OF SHEETS 3
 CITY FILE NUMBER



PRINTED ON: 08/16/2023

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A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

BENCHMARK:
TOP OF CURB #2006 / ELEVATION: 252.27 TC / DATUM: NAD83 FT
DESCRIPTION: TOP OF CURB AT THE SEER AS SHOWN ON THE CITY OF RANCHO MIRAGE
STREET PLANS FOR THE KESSLER OFFICE BUILDING, SHEET 8 OF 9 ON FILE IN THE
OFFICE OF CITY ENGINEER OF THE CITY OF RANCHO MIRAGE AS PLAN NUMBER E0603371

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY ARE BASED ON THE CALIFORNIA
COORDINATE SYSTEM (CCS83), ZONE VI, (2017.50 EPOCH) AS PER GRID INVERSE
CALCULATIONS BETWEEN CONTINUOUSLY OPERATING REFERENCE (C.O.R.S.) STATIONS
P481 AND P491 PER PUBLISHED VALUES PROVIDED BY THE SCRIPPS ORBIT AND
PERMANENT ARRAY CENTER (S.O.P.A.C.), BEING: NORTH 78° 59' 35.49" WEST.

ENGINEER		REVISIONS		COUNTY	
MARK	BY DATE			APPR.	DATE



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BENJAMIN DANIEL EGAN, R.C.E. 73070
DATE: 06/06/2023

APPROVED BY: _____ DATE: _____
REVIEWED AND RECOMMENDED BY: _____ DATE: _____

PLAN CHECKED BY:
CIVIL: _____
TRAFFIC: _____
LANDSCAPE: _____

IN THE CITY OF LA QUINTA, RIVERSIDE COUNTY, CALIFORNIA
LA QUINTA VILLAGE APARTMENTS
PRELIMINARY UTILITY PLAN
252 UNIT APARTMENT COMPLEX
WASHINGTON ST & AVENUE 50, LA QUINTA, CA 92253
APN 646-070-015

SHEET **3**
OF
SHEETS **3**
CITY FILE NUMBER



Common Area Calculations

Area (SF)	Area (SF)
1. First Floor	
Clubhouse	978
Fire Riser	12
GYM	725
HALL	166
HK	36
Office	290
RR	124
Showers	68
Stor	111
Wet Bar	36
WH	12
Total	2,578 sq ft

UNIT MIX

Unit Type	Unit Name	Qty	Area (SF)	Total (SF)
1-Bed Apartment	1A-ADA	24	673	22,862
1-Bed Apartment	1A-STD	30	673	20,190
1-Bed Apartment	1B-ADA	34	755	25,670
1-Bed Apartment	1B-STD	34	755	25,670
2-Bed Apartment	2A-ADA	68	960	65,280
2-Bed Apartment	2A-STD	52	960	49,920
Total		252		209,612 sq ft

DENSITY CALCULATIONS
 BASE DENSITY: 14.03 UNITS/ACRE x 12 UNITS/ACRE = 168 BASE UNITS
 TOTAL UNITS PROPOSED: 252 UNITS
 50% DENSITY BONUS IS BEING PROPOSED
 14.03 ACRES x 18 UNITS/ACRE = 252 PROPOSED UNITS
 FOR 50% DENSITY BONUS, 44% OF BASE UNITS NEED TO BE MODERATE INCOME UNITS BASED ON LQMC 9.0.0.260 DENSITY BONUS PERCENTAGES
 44% x 168 = 74 MODERATE INCOME UNITS

MARKET-RATE UNITS
 MINIMUM REQUIRED MODERATE UNITS: 74
 MAXIMUM UNITS ALLOWED W/ DENSITY BONUS: 252

AVENUE 50

Parking Cals

Qty	Parking Legend:
8	C = COMPACT PARKING SPACE (8.5' X 10')
303	CP = COVERED STANDARD PARKING SPACE (9' X 19')
5	FEV = FUTURE EV PARKING SPACE (9' X 19')
1	FEV HC = FUTURE EV ACCESSIBLE PARKING SPACE (9' X 19') 45' AISLE
1	FEV VAN = FUTURE EV VAN PARKING SPACE (9' X 19') 48' AISLE
6	HC = ACCESSIBLE STANDARD PARKING SPACE (9' X 19') 45' AISLE
2	HC VAN = ACCESSIBLE VAN PARKING SPACE (9' X 19') 48' AISLE
1	Mail = DESIGNATED MAIL VAN PARKING SPACE (9' X 19')
151	P = STANDARD PARKING SPACE (9' X 19') (9' X 17')
522	

PARKING FACILITY BREAKDOWN

UNCOVERED STANDARD PARKING SPACES:	151 SPACES	INCLUDES:	0 FEV SPACES
UNCOVERED COMPACT PARKING SPACES:	8 SPACES	INCLUDES:	0 FEV SPACES
UNCOVERED ACCESSIBLE PARKING SPACES:	7 SPACES	INCLUDES:	2 FEV SPACES
CARPORIT STANDARD PARKING SPACES:	351 SPACES	INCLUDES:	50 FEV SPACES
CARPORT ACCESSIBLE PARKING SPACES:	5 SPACES	INCLUDES:	0 FEV SPACES
TOTAL SPACES	522 SPACES	INCLUDES:	52 FEV SPACES

PARKING RATIOS
 PER LQMC 9.0.0.260 (N) BY-RIGHT PARKING INCENTIVE, THE FOLLOWING PARKING RATIOS SHALL APPLY TO THE ENTIRE DEVELOPMENT (INCLUDING MARKET-RATE UNITS)
 1-BR UNITS: 1 SPACE PER UNIT REQUIRED x 132 = 132 SPACES
 2-BR UNITS: 1.5 SPACES PER UNIT REQUIRED x 120 = 180 SPACES
 TOTAL REQUIRED: 312 SPACES

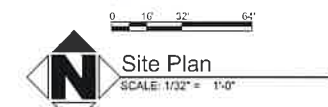
PARKING PROVIDED
 7 GUEST PARKING SPACES FOR COMMUNITY BUILDING
 132 SPACES PER 1-BED UNIT (1 SPACE PER UNIT)
 210 SPACES PER 2-BED UNIT (1.5 SPACES PER UNIT)
 312 REQUIRED PARKING SPACES FOR UNITS
 312 PROVIDED PARKING SPACES FOR UNITS
 0.56 GUEST SPACES PER UNIT PROVIDED
 143 TOTAL GUEST SPACES PROVIDED
 522 TOTAL PARKING SPACES PROVIDED

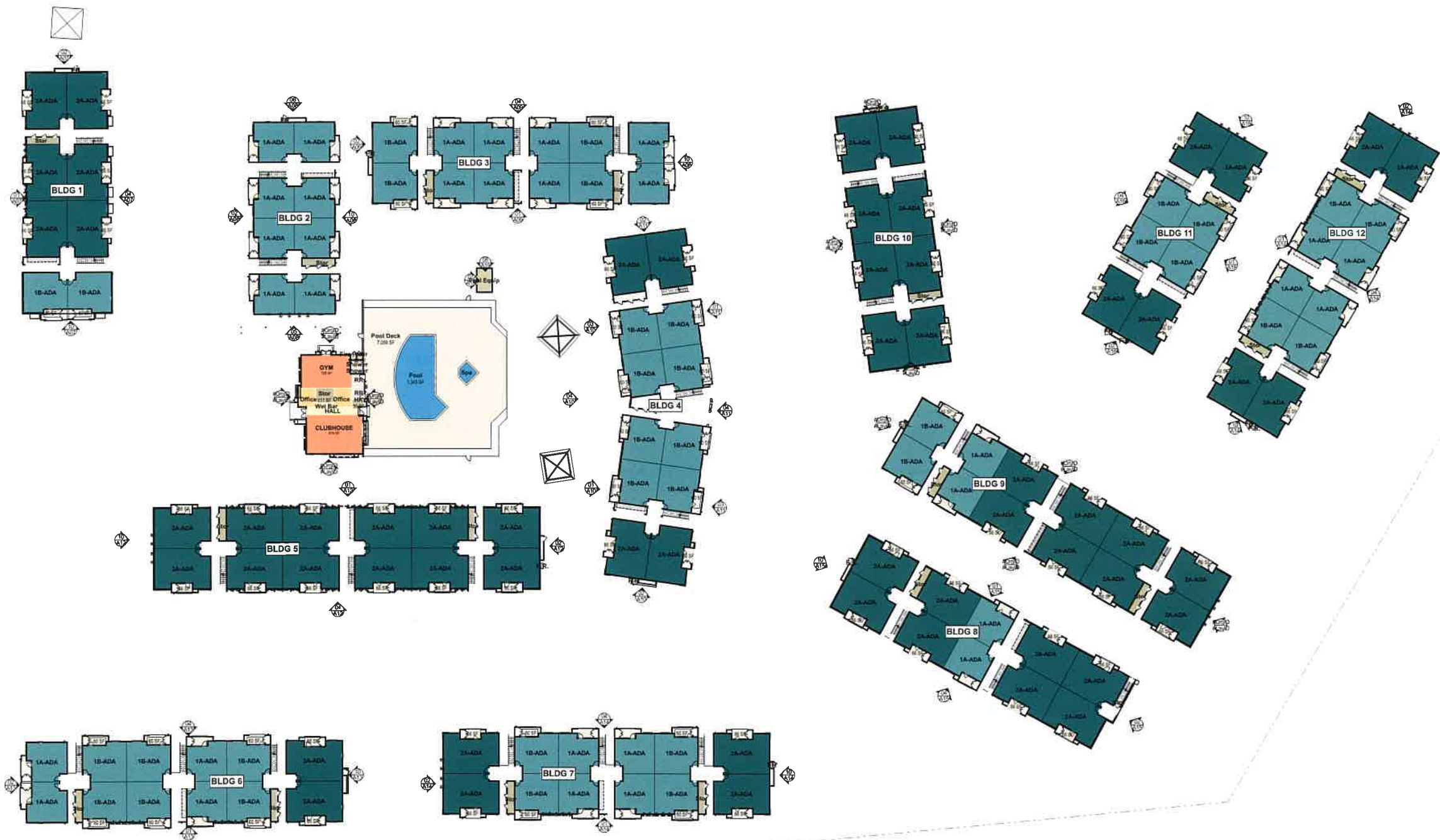
PER CBC TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE
 TYPE V-A
 R-2 S (WITHOUT AREA INCREASE)
 = 70 FEET ALLOWED

PER CBC TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE
 TYPE V-A
 R-2 S (WITHOUT AREA INCREASE)
 = 4 STORIES ALLOWED

PER CBC TABLE 505.2 ALLOWABLE AREA FACTOR
 TYPE V-A
 R-2 S (WITHOUT HEIGHT INCREASE)
 = 36,000 SF PER FLOOR ALLOWED

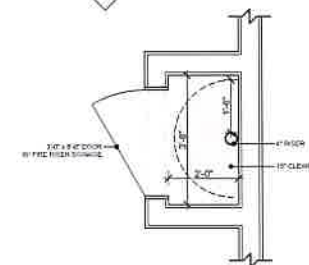
HFA-1.3 SPRINKLER SYSTEM COMPLYING WITH CBC SECTION 903.3.1.1
ALL BUILDINGS COMPLY WITH REQUIREMENTS ABOVE





LEGEND
 [] PROPOSED ENCLOSURE LOCATION FOR METERS AND SWITCHGEAR EQUIPMENT

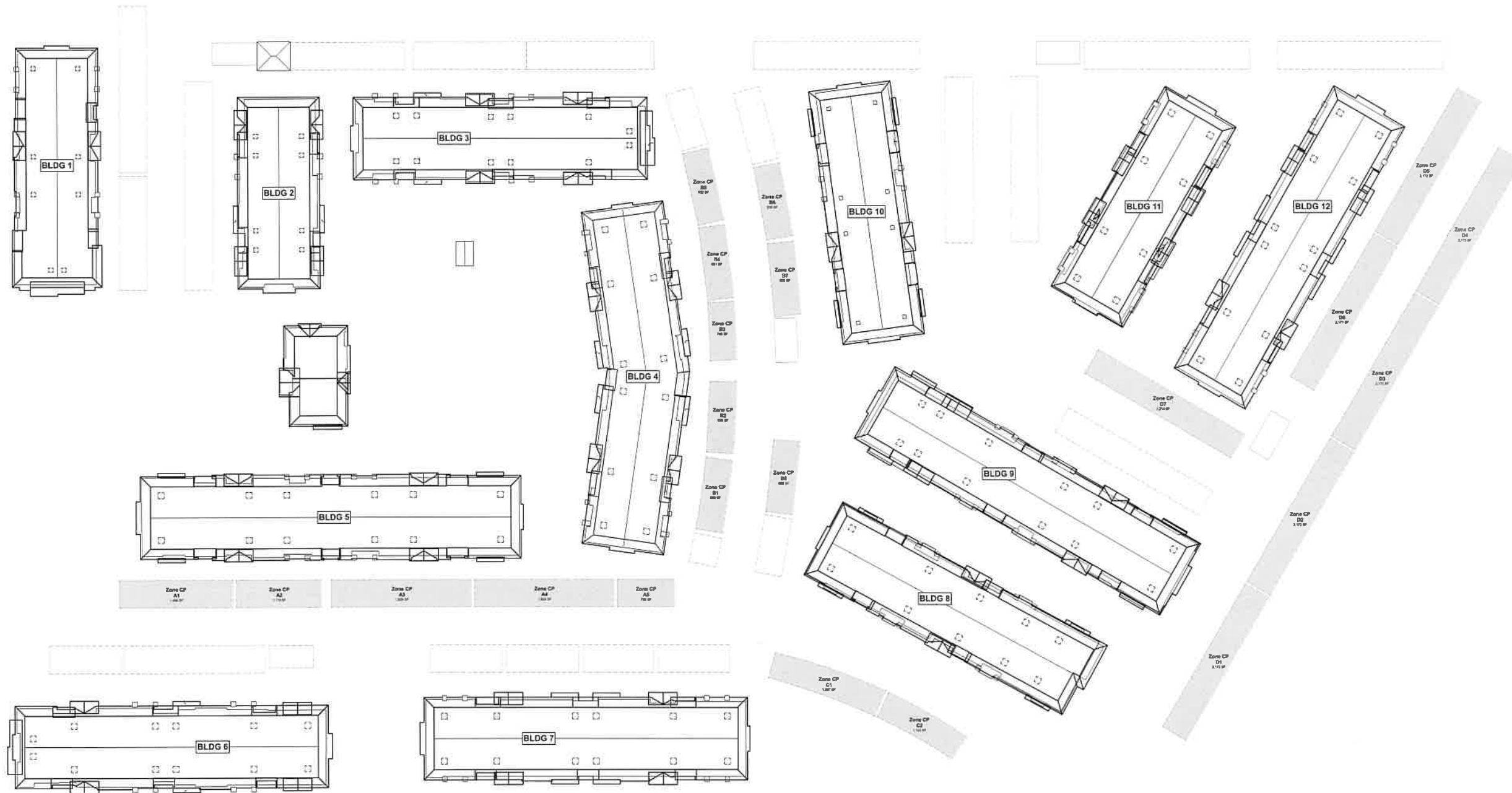
N First Floor Plan
 SCALE: 1" = 30'



TYP. FIRE RISER ENLARGED PLAN
 SCALE: 1/2" = 1'-0"




Second Floor Plan
 SCALE: 1" = 30'



- LEGEND**
- SOLAR READY ZONE
 - HVAC CONDENSERS
 - FIRE ACCESS, 4'-0" CLEAR MIN.
 - CARPORT ROOF BELOW

SOLAR READY ROOF:
 NO DIMENSION LESS THAN 5'-0"
 EACH SUBAREA MUST BE AT LEAST 160 SF IF TOTAL ROOF AREA EXCEEDS 10,000 SF
 SOLAR ZONE ON STEEP SLOPED ROOFS MUST BE ORIENTED BETWEEN 110 AND 270 DEGREES OF TRUE NORTH, ORIENTATION DOES NOT APPLY ON ROOFS SLOPED LESS THAN 2:12
 MUST BE FREE OF ROOF PENETRATIONS AND ROOF MOUNTED EQUIPMENT
 MIN. 15% OF TOTAL ROOF AREA IS REQ'D TO BE SOLAR READY, EXCLUDING ANY SKYLIGHT AREA

TOTAL ROOF AREA INCLUDES ROOF/OVERHANG OF THE BUILDING OR ROOF/OVERHANG OF ANOTHER STRUCTURE LOCATED WITHIN 250 FEET OF THE BUILDING OR ON COVERED PARKING INSTALLED WITH THE BUILDING PROJECT

TOTAL ROOF AREA: 214,504 SF
 SOLAR READY MINIMUM: 15% OF TOTAL ROOF AREA
 SOLAR READY MIN. REQUIRED: 32,176 SF
 SOLAR READY PROVIDED: 32,176 SF

SOLAR READY ZONES ARE LOCATED ON CARPORTS ONLY, NO SOLAR ON BUILDING ROOFS

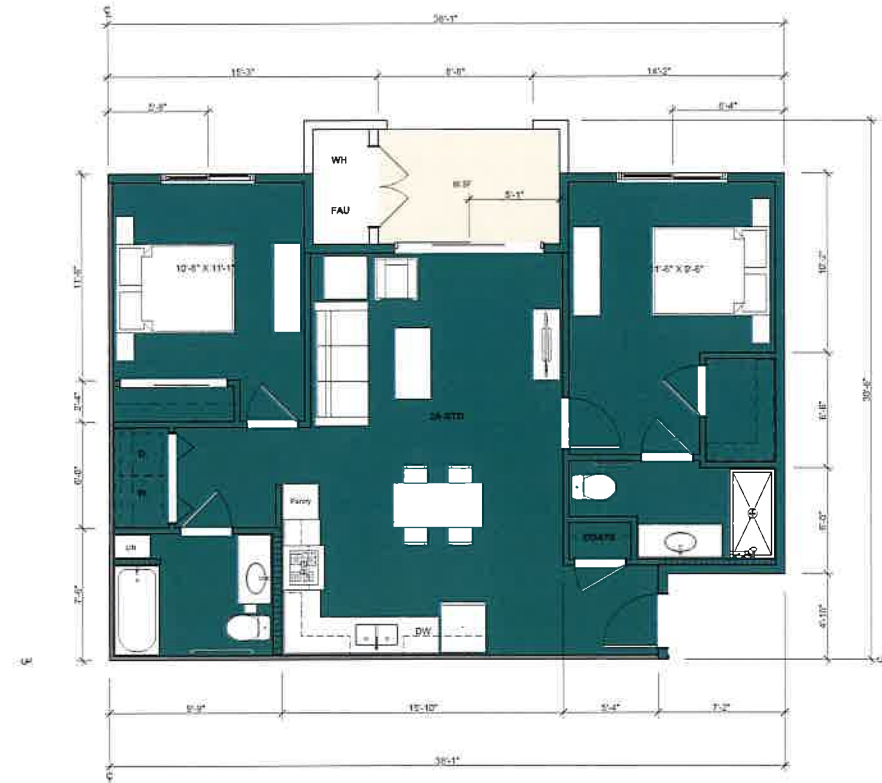
- GENERAL NOTES:**
- PER LA QUINTA VILLAGE SPECIFIC PLAN, PARAPET WALLS SHALL BE A MAXIMUM OF 5' TALL TO SCREEN/HIDE HVAC EQUIPMENT
 - SEE SHEET A21 FOR LINE OF SIGHT DIAGRAMS
 - PHOTOVOLTAIC SYSTEMS SHALL MEET MINIMUM QUALIFICATION REQUIREMENTS AS SPECIFIED IN JOINT APPENDIX JA11 (2019 CALIFORNIA ENERGY CODE)
 - PRELIMINARY SOLAR CARPORT SHOWN ABOVE, FINAL LAYOUT TO BE DETERMINED



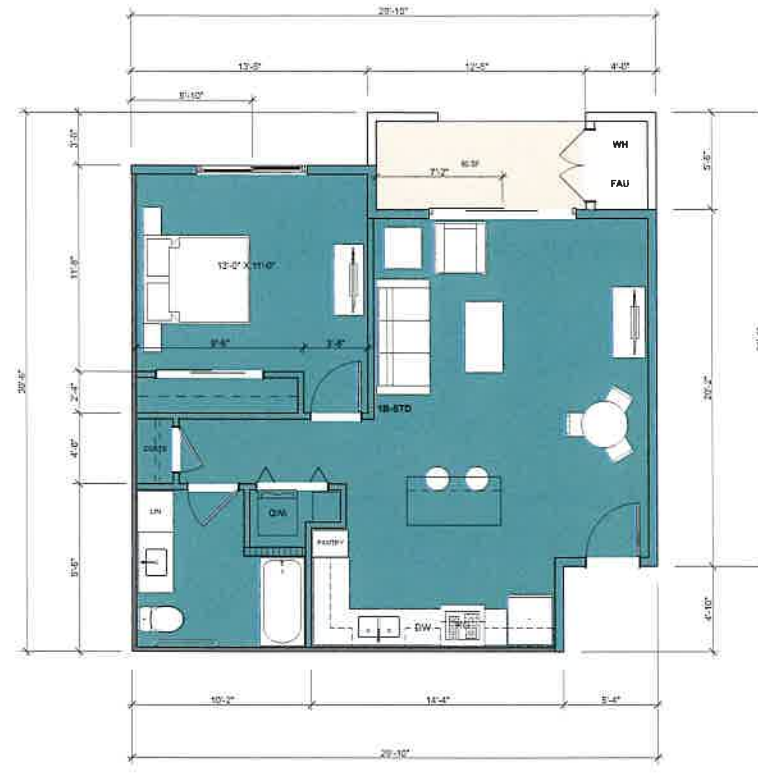
Roof Plan

SCALE: 1" = 30'

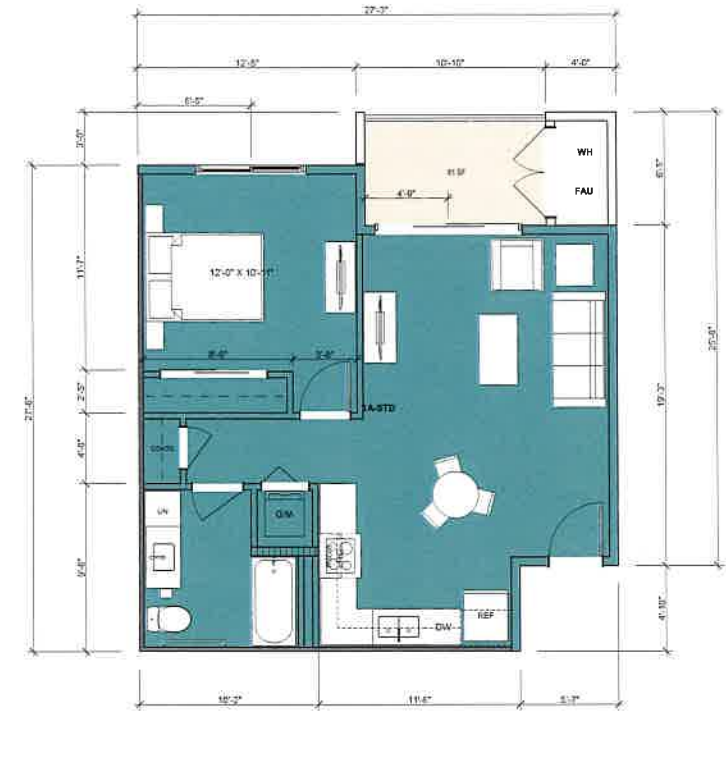
SECOND FLOOR UNITS - STANDARD



2A 2 Bed - Standard
SCALE: 1/4" = 1'-0"

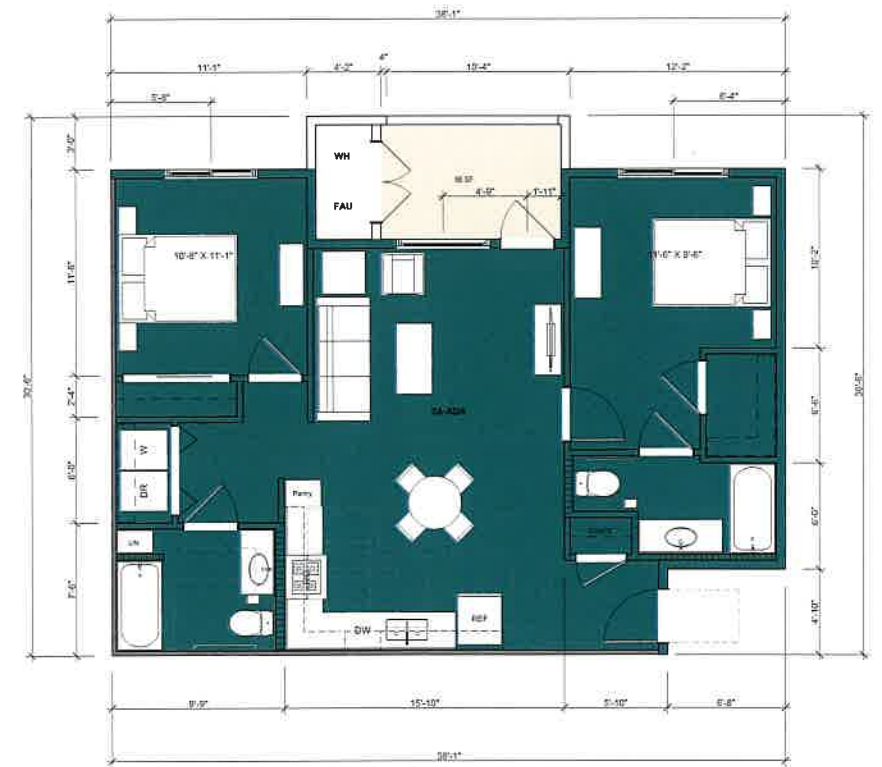


1B 1 Bed - Standard
SCALE: 1/4" = 1'-0"

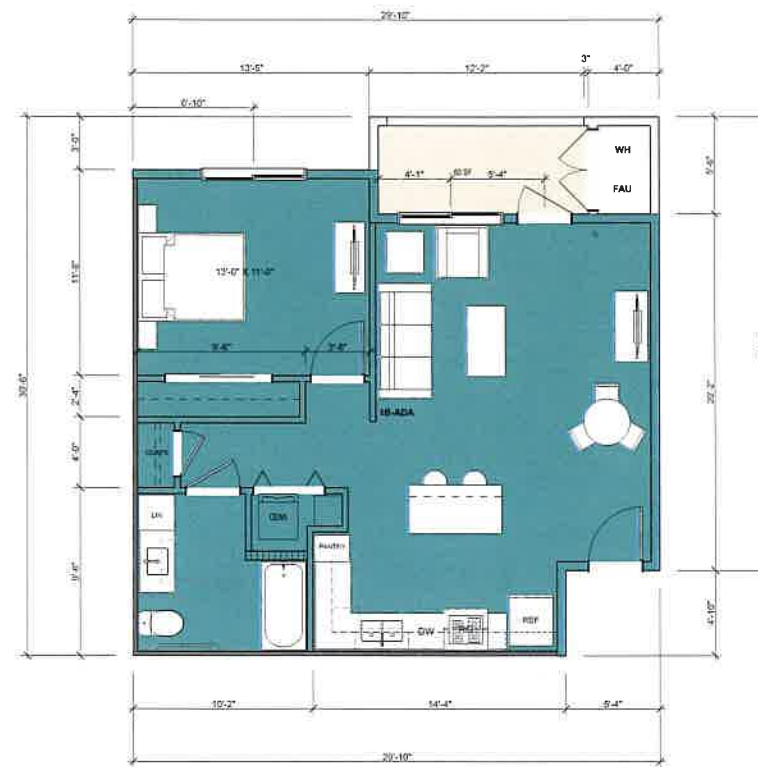


1A 1 Bed - Standard
SCALE: 1/4" = 1'-0"

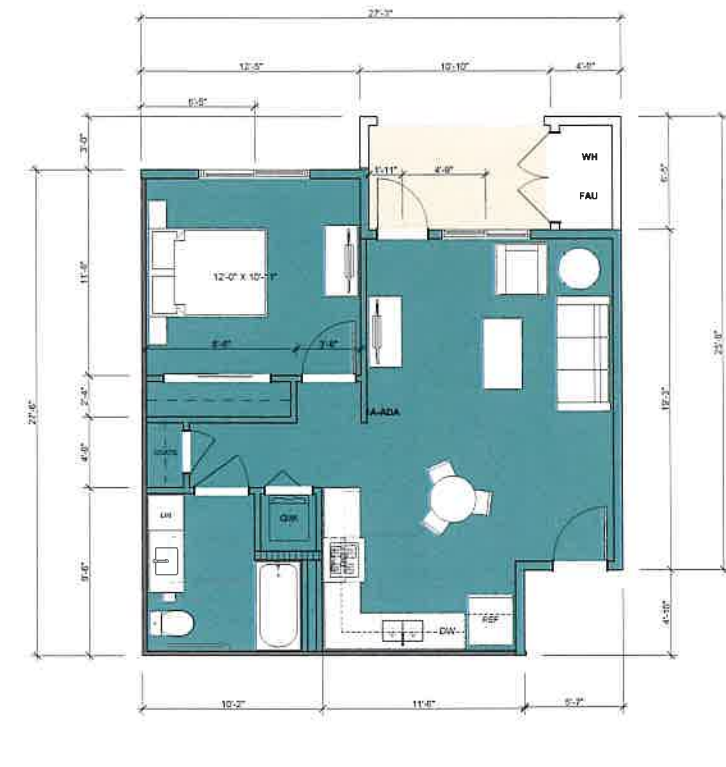
GROUND FLOOR UNITS - ACCESSIBLE
TO COMPLY WITH CBC 11A ACCESSIBILITY STANDARDS



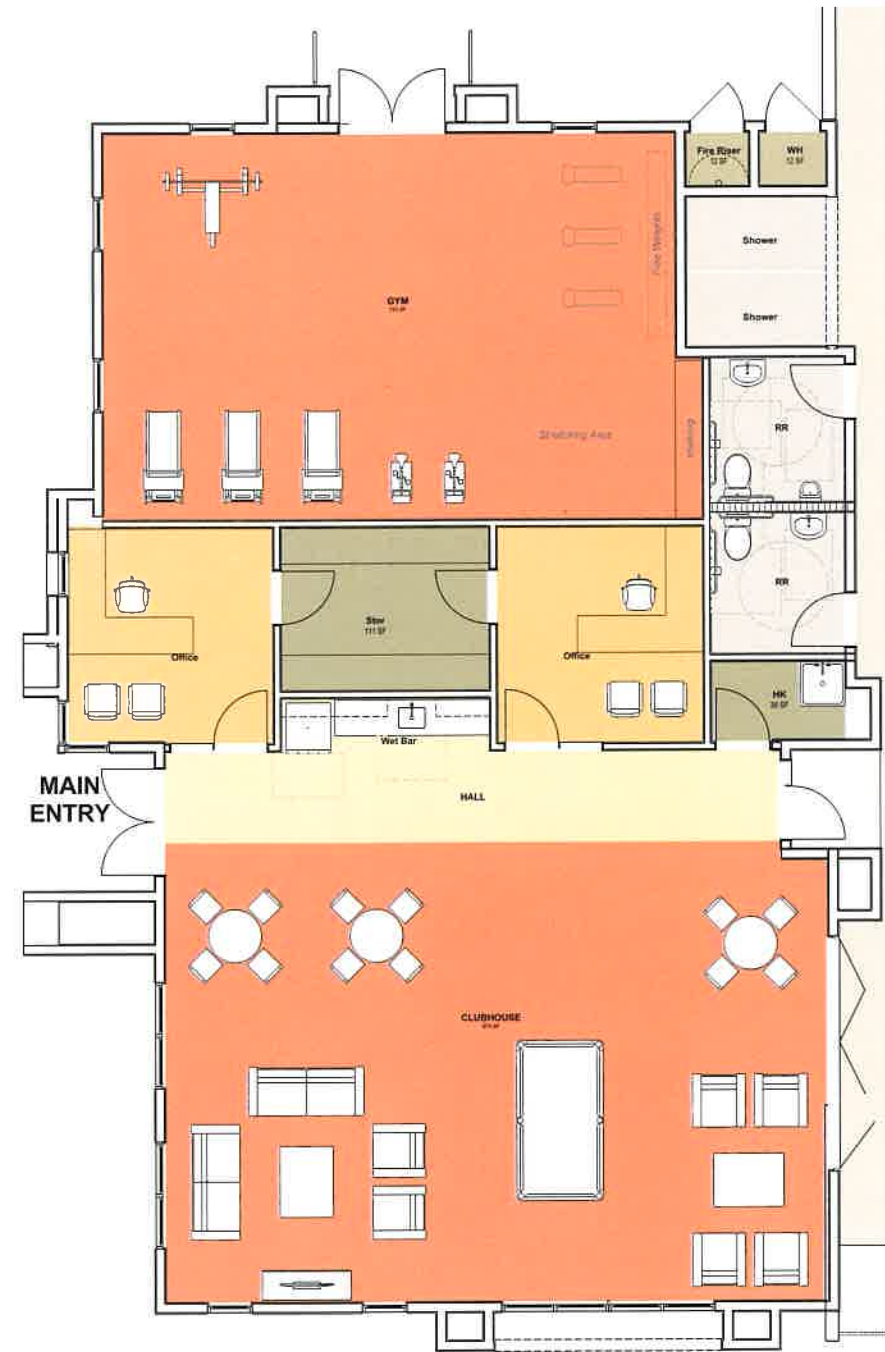
2A 2 Bed - ADA
SCALE: 1/4" = 1'-0"



1B 1 Bed - ADA
SCALE: 1/4" = 1'-0"



1A 1 Bed - ADA
SCALE: 1/4" = 1'-0"



05 Clubhouse Floor Plan
SCALE: 1/4" = 1'-0"



04 Clubhouse - Front Elevation
SCALE: 1/4" = 1'-0"



03 Clubhouse - Right Elevation
SCALE: 1/4" = 1'-0"

POOL DECK

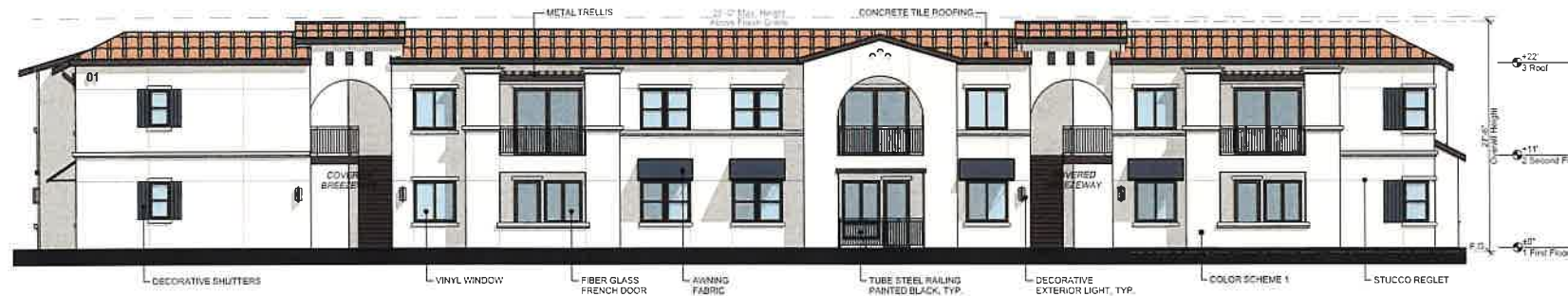


02 Clubhouse - Rear Elevation
SCALE: 1/4" = 1'-0"



01 Clubhouse - Left Elevation
SCALE: 1/4" = 1'-0"

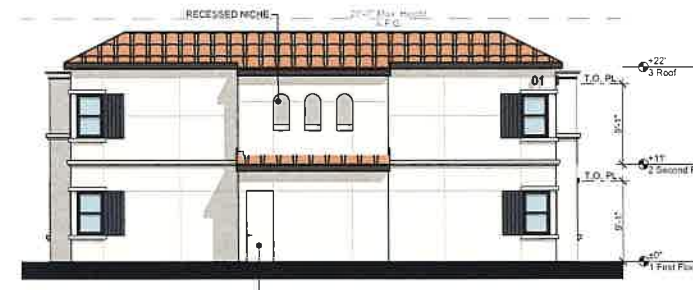
- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE
- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 1 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 1 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 1 Right Elevation
SCALE: 1/8" = 1'-0"

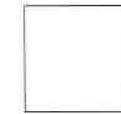




01 Bldg 1 Rear Elevation
SCALE: 1/8" = 1'-0"

SCHEME 1:

-  STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
-  ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
-  FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

SCHEME 2:

-  STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
-  ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
-  FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

-  **ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD

- VINYL DOORS & WINDOWS**
COLOR: BRONZE

- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



08 Bldg 2 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 2 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 2 Right Elevation
SCALE: 1/8" = 1'-0"



05 Bldg 2 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

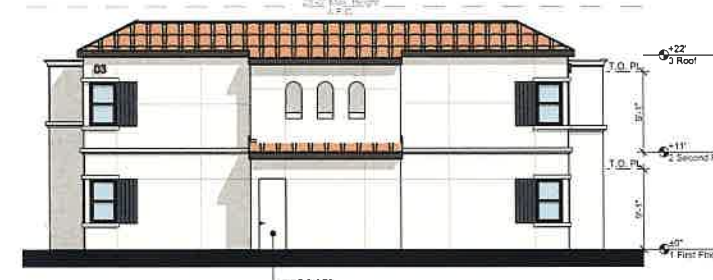
- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 3 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 3 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 3 Right Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 3 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

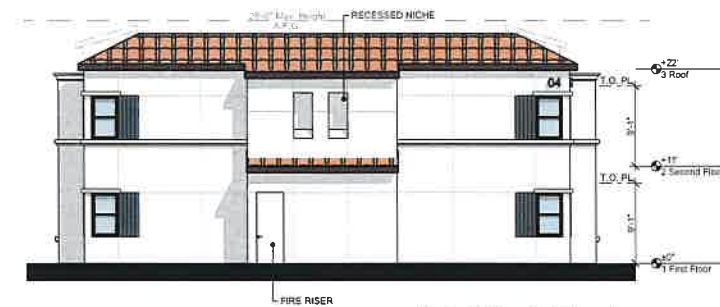
- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 4 Rear Elevation Overall
SCALE: 3/32" = 1'-0"



03 Bldg 4 Rear Elevation A
SCALE: 1/8" = 1'-0"



02 Bldg 4 South Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 4 Rear Elevation B
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

ROOFING
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

ROOFING
TPO ROOFING
MANUF: TBD
COLOR: TBD

VINYL DOORS & WINDOWS
COLOR: BRONZE

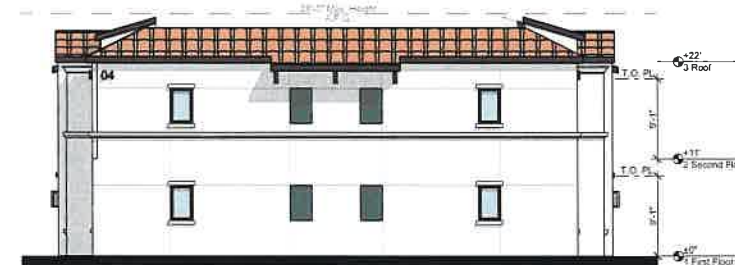
RAILINGS
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 4 Front Elevation Overall
SCALE: 3/32" = 1'-0"



03 Bldg 4 Front Elevation B
SCALE: 1/8" = 1'-0"



02 Bldg 4 North Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 4 Front Elevation A
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

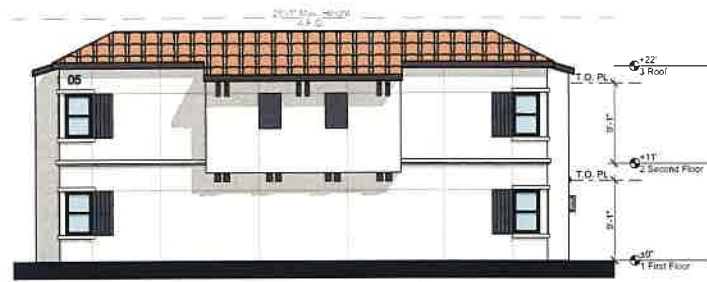
- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 5 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 5 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 5 Right Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 5 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

ROOFING
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

ROOFING
TPO ROOFING
MANUF: TBD
COLOR: TBD

VINYL DOORS & WINDOWS
COLOR: BRONZE

RAILINGS
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 6 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 6 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 6 Right Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 6 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

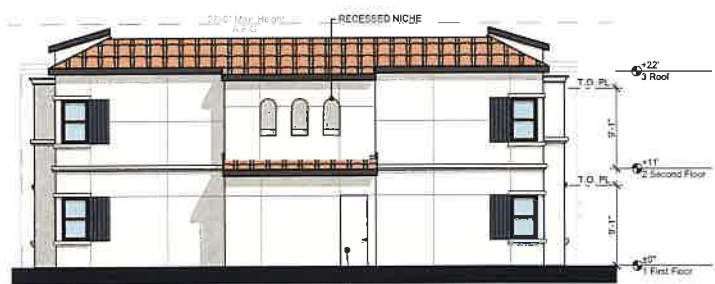
- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE

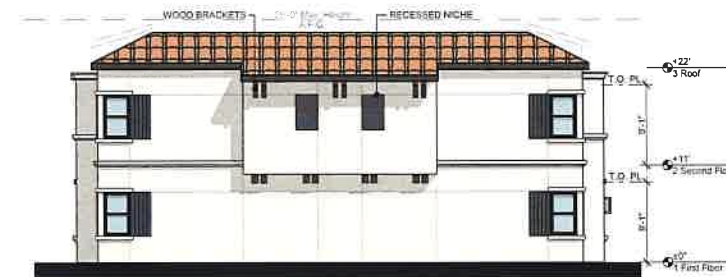
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldgs 7 & 12 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldgs 7 & 12 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldgs 7 & 12 Right Elevation
SCALE: 1/8" = 1'-0"



01 Bldgs 7 & 12 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

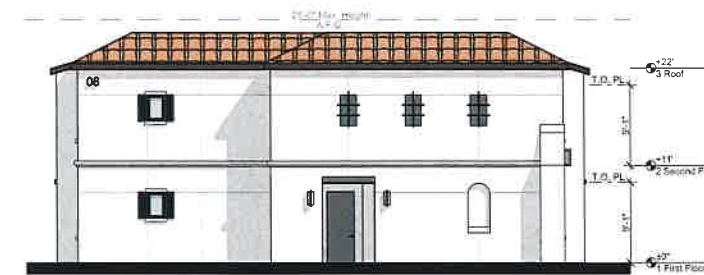
- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 8 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 8 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 8 Right Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 8 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

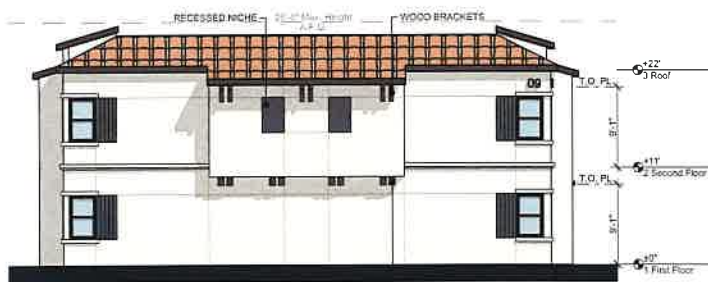
- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE

- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 9 - Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 9 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 9 Right Elevation
SCALE: 1/8" = 1'-0"



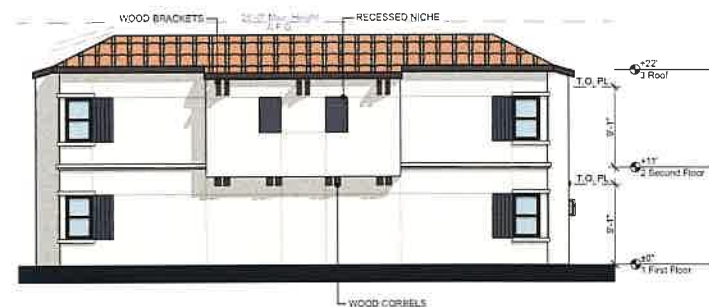
01 Bldg 9 Rear Elevation
SCALE: 1/8" = 1'-0"

- SCHEME 1:**
- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
 - ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- SCHEME 2:**
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
 - ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
 - FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.
- ROOFING**
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

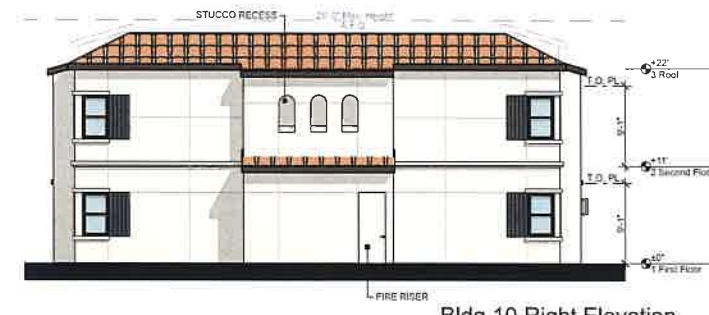
- ROOFING**
TPO ROOFING
MANUF: TBD
COLOR: TBD
- VINYL DOORS & WINDOWS**
COLOR: BRONZE
- RAILINGS**
TUBE STEEL, OR SIM.
COLOR: BLACK



Bldg 10 - Front Elevation
SCALE: 1/8" = 1'-0"



Bldg 10 Left Elevation
SCALE: 1/8" = 1'-0"



Bldg 10 Right Elevation
SCALE: 1/8" = 1'-0"



Bldg 10 Rear Elevation
SCALE: 1/8" = 1'-0"

SCHEME 1:

- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
- ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
- FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

SCHEME 2:

- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
- ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
- FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

- ROOFING
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

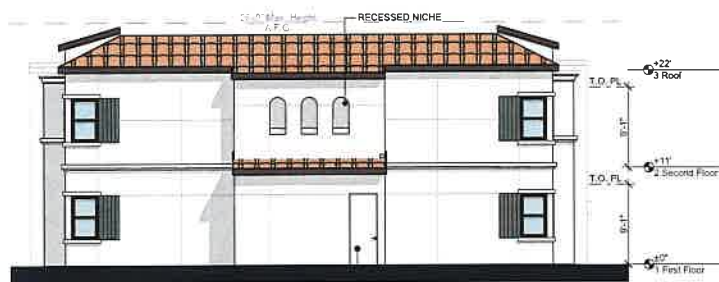
- ROOFING
TPO ROOFING
MANUF: TBD
COLOR: TBD

- VINYL DOORS & WINDOWS
COLOR: BRONZE

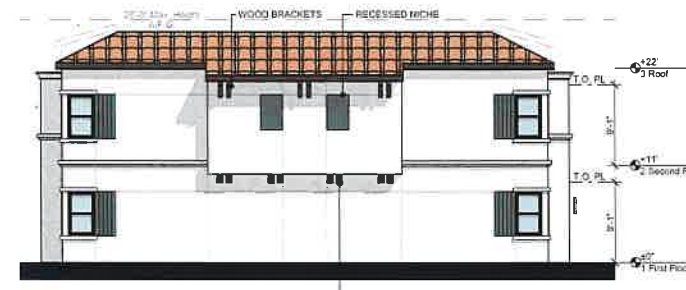
- RAILINGS
TUBE STEEL, OR SIM.
COLOR: BLACK



04 Bldg 11 Front Elevation
SCALE: 1/8" = 1'-0"



10 Bldg 11 Left Elevation
SCALE: 1/8" = 1'-0"



02 Bldg 11 Right Elevation
SCALE: 1/8" = 1'-0"



01 Bldg 11 Rear Elevation
SCALE: 1/8" = 1'-0"

SCHEME 1:

- STUCCO 1
DUNN EDWARDS
DEW352 ANTIQUE WHITE OR EQ.
- ACCENT 1
DUNN EDWARDS
DE6341 VULCAN, OR EQ.
- FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

SCHEME 2:

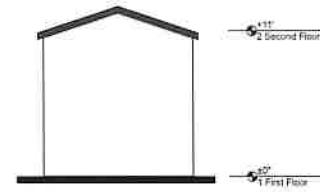
- STUCCO 1
DUNN EDWARDS
DEW380 WHITE, OR EQ.
- ACCENT 1
DUNN EDWARDS
DET606 MEEK MOSS GREEN, OR EQ.
- FASCIA, TRELLIS, CORBELS
DUNN EDWARDS
DE6390 CHOCOLATE PUDDING,
OR EQ.

ROOFING
CONCRETE TILE ROOFING
MANUF: WESTLAKE ROYAL ROOFING
STYLE: BARCELONA
COLOR: CASA GRANDE

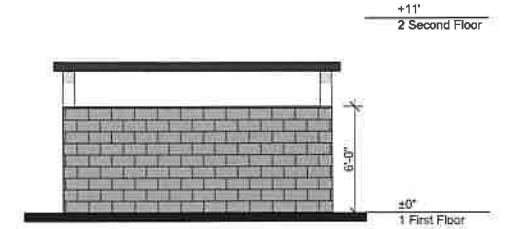
ROOFING
TPO ROOFING
MANUF: TBD
COLOR: TBD

VINYL DOORS & WINDOWS
COLOR: BRONZE

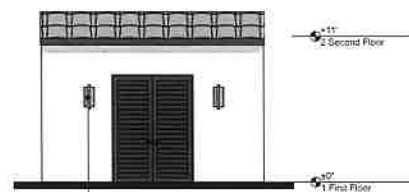
RAILINGS
TUBE STEEL, OR SIM.
COLOR: BLACK



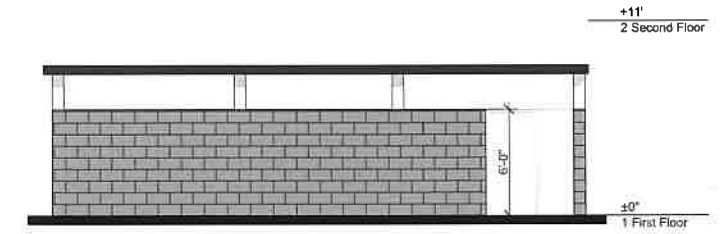
08 Pool Equip. Side Elevation
SCALE: 3/16" = 1'-0"



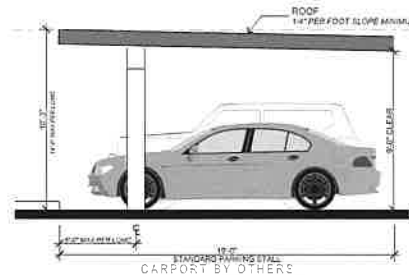
04 Typical Trash Enclosure Side Elevation
SCALE: 1/4" = 1'-0"



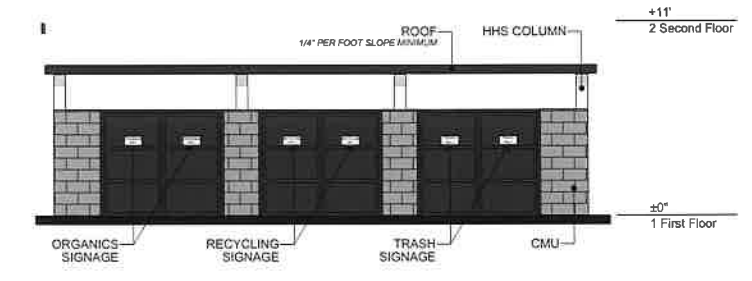
07 Pool Equip. Front Elevation
SCALE: 3/16" = 1'-0"



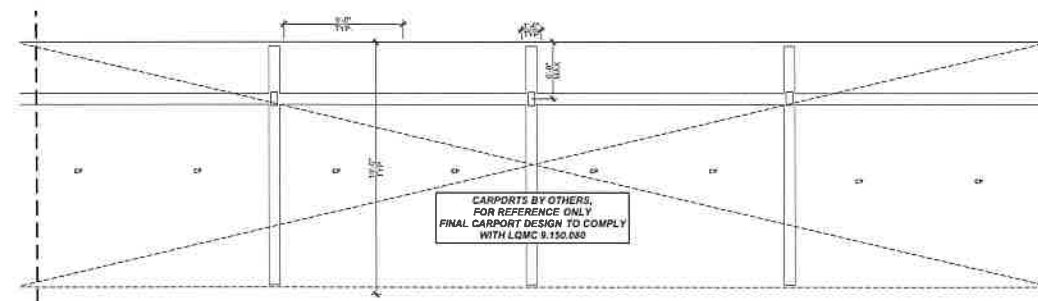
03 Typical Trash Enclosure Rear Elevation
SCALE: 1/4" = 1'-0"



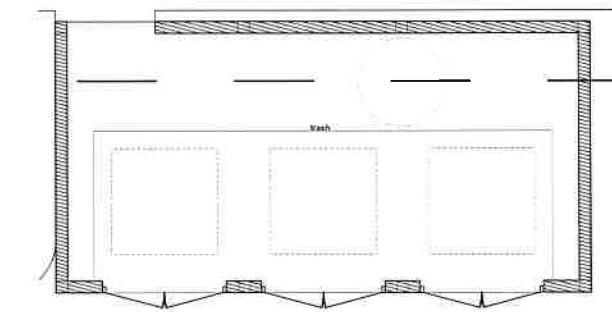
06 Typical Carport Side Elevation
SCALE: 1/4" = 1'-0"



02 Typical Trash Enclosure Front Elevation
SCALE: 1/4" = 1'-0"



05 Typical Carport Plan
SCALE: 3/16" = 1'-0"



01 Typical Trash Enclosure Plan
SCALE: 1/4" = 1'-0"



02 View of Building 3 with Building 4 and putting green in background.



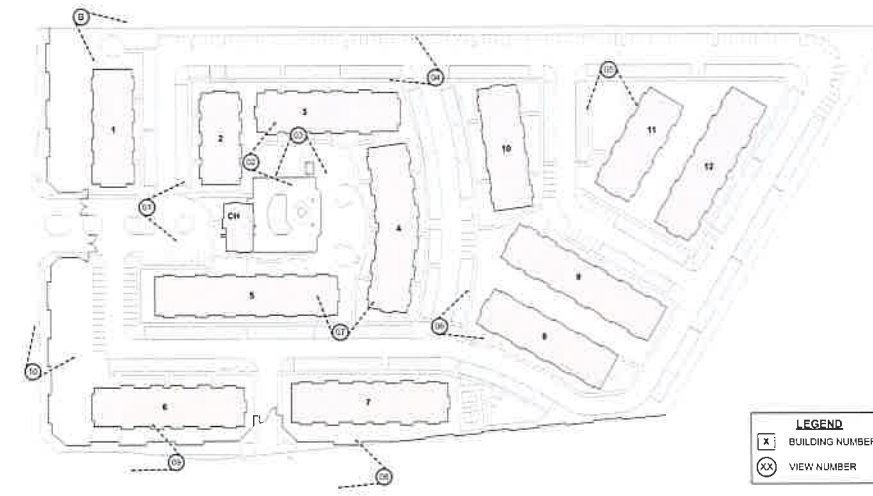
03 View of pool area and shade structure



04 View of open parking along north property line.



01 View of clubhouse from Washington Street main entry.



Key Plan



05 View of rear portion of parcel.



B Bird's-eye view of property.



07 View of Buildings 4 & 5.



06 View of carports near building 8.



10 View on Washington Street with deceleration lane on far left. See location of view on sheet A17 Key Plan.



09 View on Avenue 50 looking towards Washington Street intersection with mountains in the background. See location of view on sheet A17 Key Plan.

La Quinta Village Apartments

Paint Schemes Color Board
DUNN - EDWARDS PAINTS

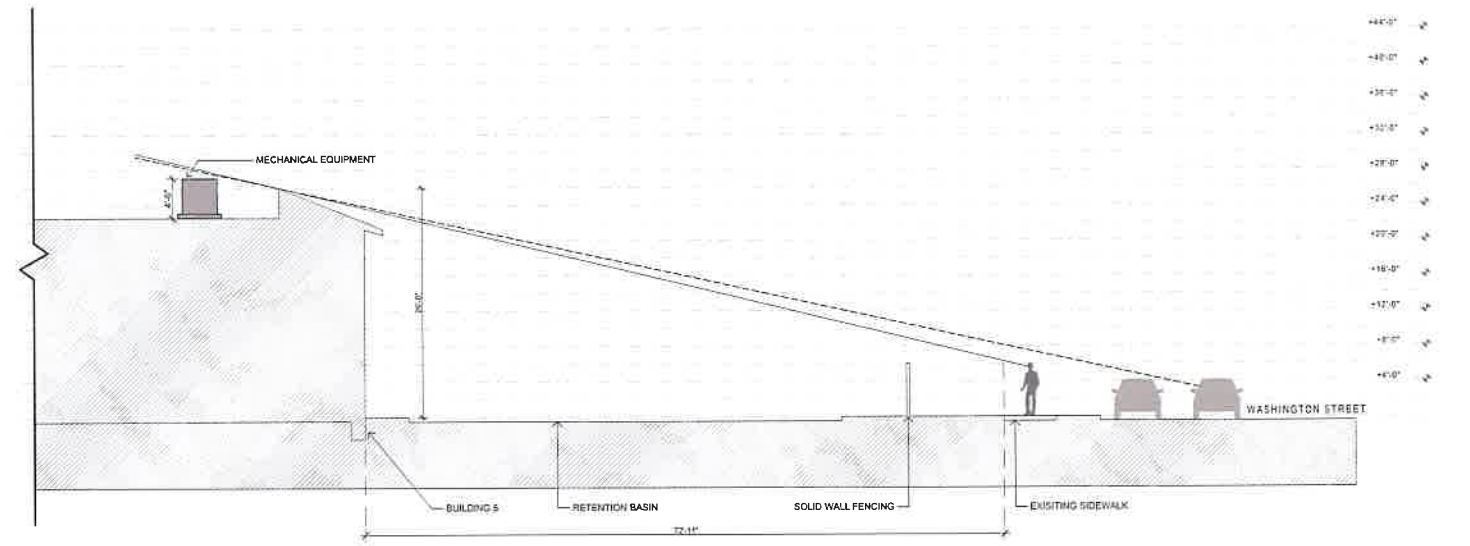
<p>Scheme 1</p>  <p>STUCCO 1 DEW352 ANTIQUE WHITE</p>	<p>Scheme 2</p>  <p>STUCCO 1 DEW380 WHITE</p>	 <p>TILE ROOFING WESTLAKE ROYAL ROOFING BARCELONA COLOR: CASA GRANDE</p>
 <p>ACCENT 1 DE6341 VULCAN</p>	 <p>ACCENT 1 DET606 MEEK MOSS GREEN</p>	<p>ROOFING TPO ROOFING MANUF: TBD COLOR: TBD</p> <p>VINYL DOORS & WINDOWS COLOR: BRONZE</p> <p>RAILINGS & FENCING TUBE STEEL, OR SIM. COLOR: BLACK</p> <p>TRASH ENCLOSURES CMU WALLS, SPLIT FACE METAL ROOF METAL GATES</p> <p>CARPORTS BY OTHERS STEEL SUPPORTS & METAL ROOF, OR SIM.</p> <p>PICNIC AREA SHADE STRUCTURES BY OTHERS TBD</p> <p>POOL AREA CABANAS BY OTHERS TBD</p>
 <p>FASCIA, TRELIS, CORBELS DE6390 CHOCOLATE PUDDING</p>	 <p>FASCIA, TRELIS, CORBELS DE6390 CHOCOLATE PUDDING</p>	



08 View of entry access on Avenue 50. See location of view on sheet A17 Key Plan.



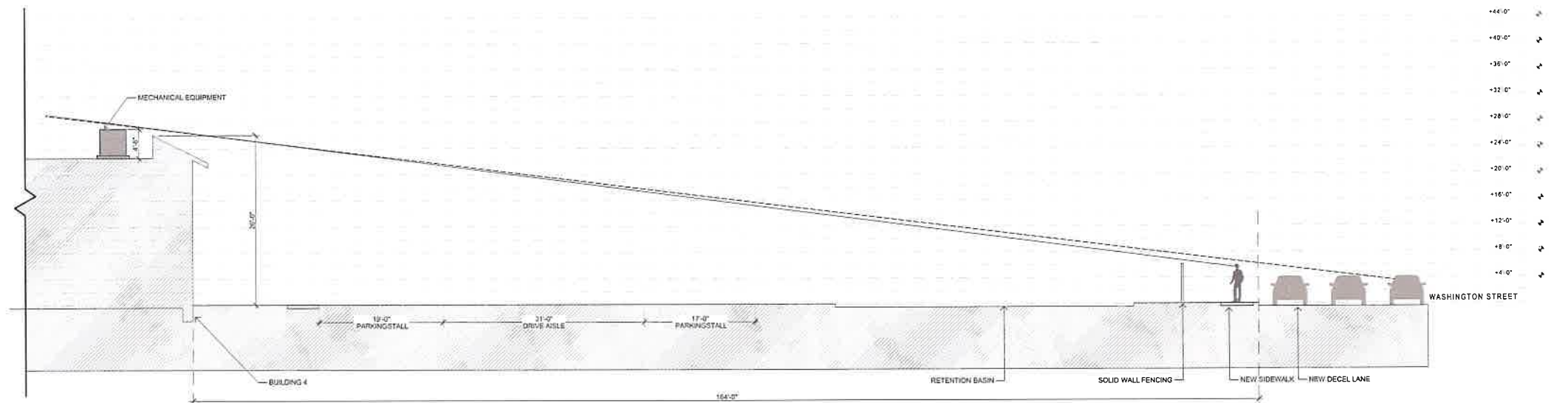
VIEW FROM WASHINGTON STREET - BUILDINGS 1 & 2



03 LINE OF SIGHT DIAGRAM - WASHINGTON STREET TOWARDS AVENUE 50
SCALE: 1/8" = 1'-0"



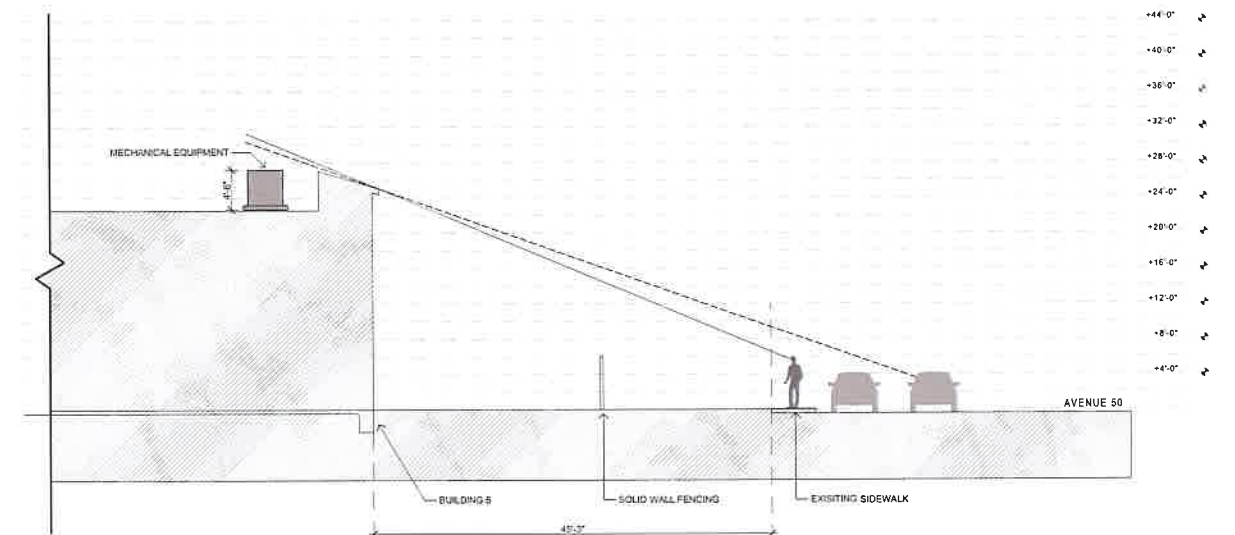
VIEW FROM WASHINGTON STREET - BUILDING 4 & CLUBHOUSE



02 LINE OF SIGHT DIAGRAM - WASHINGTON STREET
SCALE: 1/8" = 1'-0"



VIEW FROM AVENUE 50 - BUILDINGS 5 & 6



01 LINE OF SIGHT DIAGRAM - AVENUE 50
SCALE: 1/8" = 1'-0"



REFER TO TYP. BUILDING PLANTING EXHIBIT

PUTTING GREEN

WASHINGTON ST

AVENUE 50

REFER TO SLOPE PLANTING EXHIBIT

ACCENT PAVING

SHADE STRUCTURE WITH PICNIC TABLES

PICKLEBALL COURT

DOG PARK

POOL RECREATION AREA

ZONE 2: 58"

ESTIMATED ANNUAL APPLIED WATER USE

TREE AND SHRUB LOW - DRIP / BUBBLER
 $ETD \times PF \times LA \times 0.62 / 748 / IE = EAAWU$
 $58.0 \times .20 \times 102,383 \times 0.62 / 748 / .90 = 1,093.79$

TREE AND SHRUB MODERATE- DRIP / BUBBLER
 $ETD \times PF \times LA \times 0.62 / 748 / IE = EAAWU$
 $58.0 \times .50 \times 68,256 \times 0.62 / 748 / .90 = 1,823$

TURF HIGH- ROTOR
 $ETD \times PF \times LA \times 0.62 / 748 / IE = EAAWU$
 $58.0 \times .70 \times 33,479 \times 0.62 / 748 / .80 = 1,408.31$

TURF HIGH- DRIP
 $ETD \times PF \times LA \times 0.62 / 748 / IE = EAAWU$
 $58.0 \times .70 \times 1,090 \times 0.62 / 748 / .90 = 40.76$

TURF HIGH - SPRAY
 $ETD \times PF \times LA \times 0.62 / 748 / IE = EAAWU$
 $58.0 \times 0.70 \times 1,679 \times 0.62 / 748 / .75 = 75.34$

MAXIMUM ANNUAL APPLIED WATER USE
 $ETD \times .45 \times LA \times 0.62 / 748 = MAAWU$
 $58.0 \times .45 \times 211,482 \times 0.62 / 748 = 4,575.14$

PUTTING GREEN AREA - 3,161
 POOL AND SPA AREA - 1,434
ESTIMATED ANNUAL APPLIED WATER USE TOTAL - 4,441.2
MAXIMUM ANNUAL APPLIED WATER USE TOTAL - 4,575.14
ESTIMATED LANDSCAPE SQUARE FT. TOTAL - 211,482

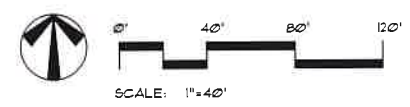
CONCEPTUAL LANDSCAPE PLAN

PRELIMINARY LANDSCAPE PLAN

LA QUINTA VILLAGE APARTMENTS

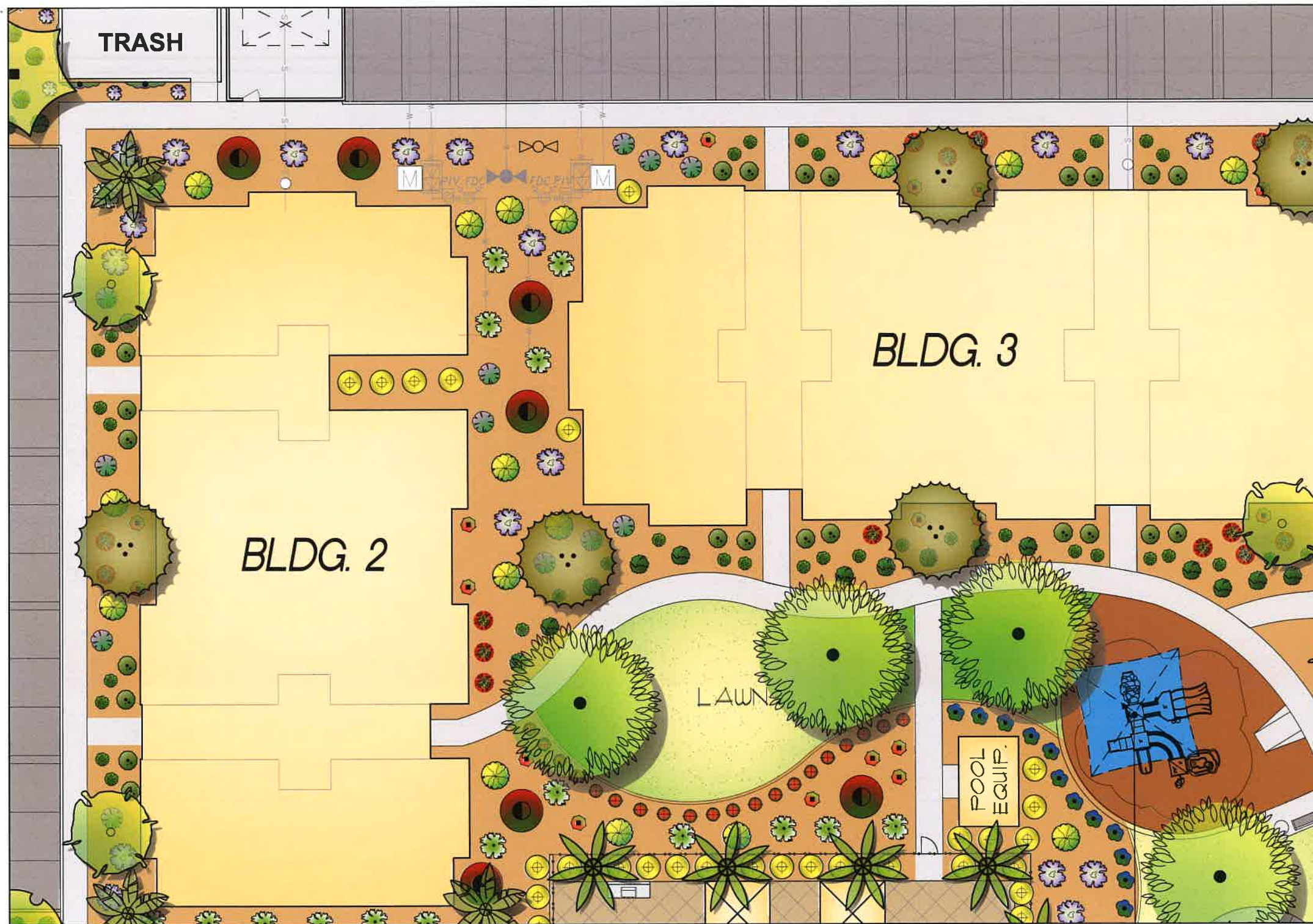
PARKER DEVELOPMENT
 CITY OF LA QUINTA, CA

LP-1



HERMANN DESIGN GROUP
 77-899 WOLF RD.
 SUITE 102
 PALM DESERT, CA
 92211
 LIC# 2754, EXP 04/30/22
 PH. (760) 777-9131
 FAX (760) 777-9132

DATE 8/15/23



PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	SIZE	WATER USE
TREES & PALMS				
		DALBERGIA SISSOO "INDIAN ROSEWOOD"	24" BOX	02 LOW
		TIFUANA TIFU "TIFU TREE"	24" BOX	05 MOD
		OLEA EUROPAEA "SWAN HILL"	36" BOX MULTI-TRK.	02 LOW
		ACACIA STENOPHYLLA "SHOESTRING ACACIA"	24" BOX SINGLE TRK. STND.	02 LOW
		ACACIA SALICINA "WILLOW ACACIA"	24" BOX SINGLE TRK. STND.	02 LOW
		PARKINSONIA FRAECCOX "PALO BREA"	24" BOX SINGLE TRK. STND.	02 LOW
		ACACIA ANEURA "MULGA"	24" BOX SINGLE TRK. STND.	02 LOW
		EUCALYPTUS PAPUANA "GHOST GUM"	24" BOX SINGLE TRK. STND.	02 LOW
		PHOENIX DACTYLIFERA "ZAHIDI DATE PALM"	18' BTH DIAMOND CUT	05 MOD
		WASHINGTONIA ROBUSTA "MEXICAN FAN PALM"	18' BTH	05 MOD
DESERT ACCENTS				
		AGAVE SISALANA "SISAL"	15 GAL.	02 LOW
		AGAVE ANGUSTIFOLIA "CARIBBEAN AGAVE"	15 GAL.	02 LOW
		AGAVE GEMINIFLORA "TWIN-FLOWERING AGAVE"	5 GAL.	02 LOW
		HESPERALOE PARVIFLORA "DESERT FLAMENCO"	5 GAL.	02 LOW
		ECHINOCACTUS GRISONII "GOLDEN BARREL CACTUS"	5 GAL.	02 LOW
SHRUBS				
		CAESALPINIA FULCHERRIMA "RED BIRD OF PARADISE"	15 GAL.	02 LOW
		LEUCOPHYLLUM FRUINOSUM "SIERRA BOUQUET"	5 GAL.	02 LOW
		LEUCOPHYLLUM FRUTESCENS "WHITE CLOUD"	5 GAL.	02 LOW
		SENNA ARTEMISIOIDES "FEATHERY CASSIA"	5 GAL.	02 LOW
		TECOMA STANS "YELLOW BELLS"	5 GAL.	05 MOD
		LEUCOPHYLLUM LANGMANIAE "LYNS LEGACY"	5 GAL.	02 LOW
		OLEA EUROPAEA "LITTLE OLLIE"	5 GAL.	02 LOW
		RUSSELLIA EUISETIFORMIS "CORAL BELLS"	5 GAL.	05 MOD
		LEUCOPHYLLUM ZYGOPHYLLUM "CIMARRON"	5 GAL.	02 LOW
		CARISSA MACROCARPA "BOXWOOD BEAUTY"	5 GAL.	05 MOD
		CALLISTEMON VIMINALIS "LITTLE JOHN"	5 GAL.	05 MOD
GRASSES				
		MUHLENBERGIA CAPILLARIS "REGAL MIST"	5 GAL.	05 MOD
		LOMANDRA LONGIFOLIA "PLATINUM BEAUTY"	5 GAL.	05 MOD
		DIANELLA TASMANICA "VARIEGATA"	5 GAL.	05 MOD
GROUNDCOVER & VINES				
		DALEA GREGGII "TRAILING INDIGO BUSH"	5 GAL.	02 LOW
		CARISSA "GREEN CARPET"	5 GAL.	05 MOD
		EVOLVULUS GLOMERATUS "HAWAIIAN BLUE EYES"	5 GAL.	02 LOW
		BOUGANVILLEA "LA JOLLA"	5 GAL.	05 MOD
		DURANTA REPENS "SKY FLOWER"	5 GAL. STK.	05 MOD

NOTE:

FIV, FDC, HYDRANT LOCATIONS SHALL NOT BE OBSTRUCTED FROM ACCESS BY VEGETATION. A MINIMUM 3-FOOT RADIUS AROUND EACH DEVICE CIRCUMFERENCE SHALL BE FREE OF OBSTRUCTIVE VEGETATION, WITH CONSIDERATION OF MATURE PLANT GROWTH.

WATER CONSERVATION STATEMENT

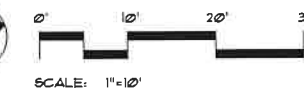
LANDSCAPING IS CONSISTENT WITH THE REQUIREMENTS OF THE COACHELLA VALLEY WATER DISTRICT ORDINANCE 13021. THE IRRIGATION SYSTEM SHALL BE DESIGNED FOR EFFICIENT PERFORMANCE WITH CONSERVATION IN MIND. POINT SOURCE DRIP / BUBBLER SYSTEMS WILL PROVIDE DIRECT WATER TO THE SHRUBS AND TREES.

TYP. BUILDING PLANTING EXHIBIT

PRELIMINARY LANDSCAPE PLAN

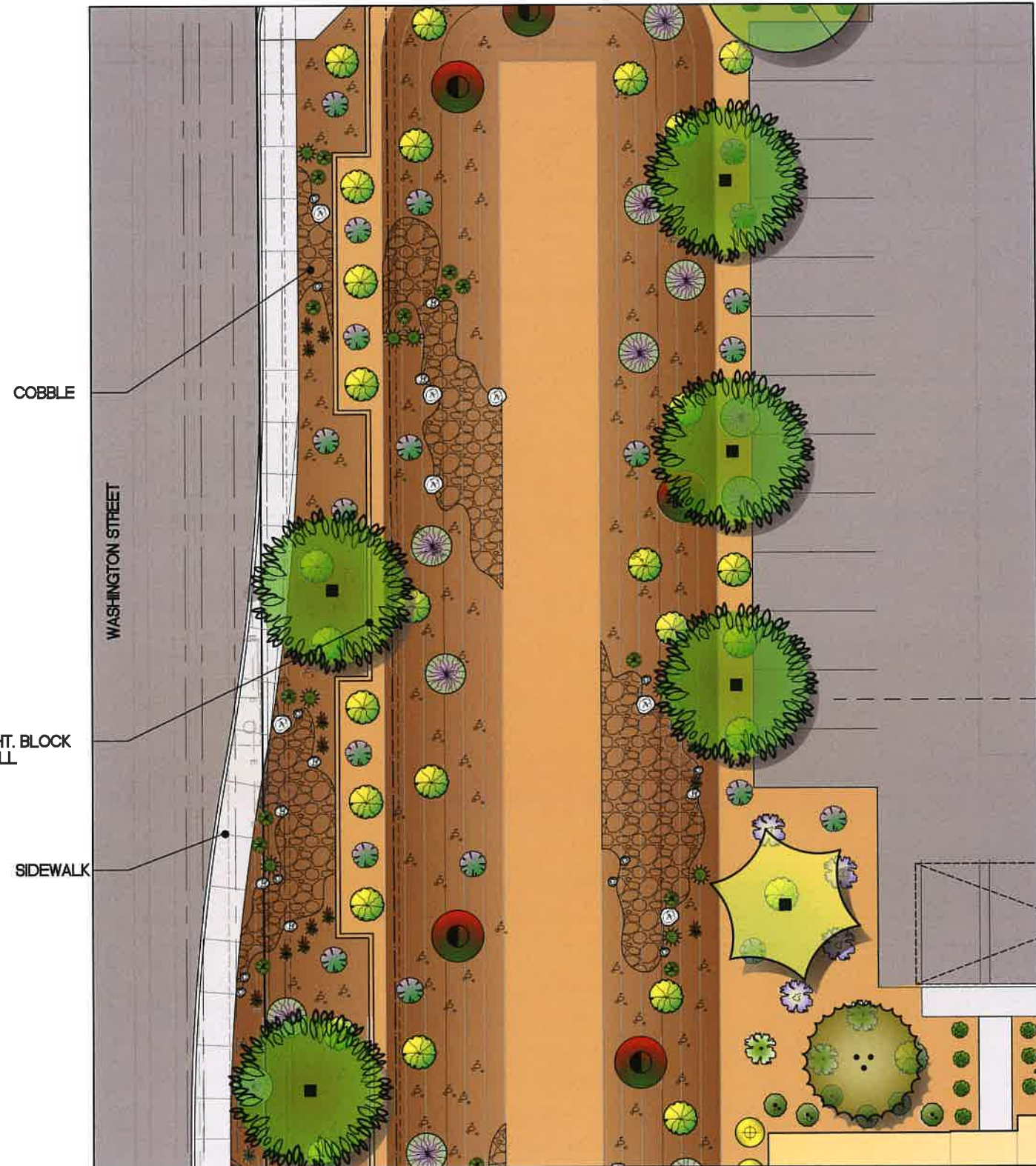
LA QUINTA VILLAGE APARTMENTS

PARKER DEVELOPMENT
CITY OF LA QUINTA, CA



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LP-2



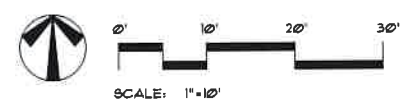
PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	SIZE	WATER USE
TREES & PALMS				
		DALBERGIA SISSOO "INDIAN ROSEWOOD"	24" BOX	0.2 LOW
		TIPUANA TIPU "TIPU TREE"	24" BOX	0.5 MOD
		OLEA EUROPAEA "SWAN HILL"	36" BOX MULTI-TRK	0.2 LOW
		ACACIA STENOPHYLLA "SHOESTRING ACACIA"	24" BOX SINGLE TRK STND.	0.2 LOW
		ACACIA SALICINA "WILLOW ACACIA"	24" BOX SINGLE TRK STND.	0.2 LOW
		PARKINSONIA FRAECOX "PALO BREA"	24" BOX SINGLE TRK STND.	0.2 LOW
		ACACIA ANEURA "MULGA"	24" BOX SINGLE TRK STND.	0.2 LOW
		EUCALYPTUS PAPUANA "GHOST GUM"	24" BOX SINGLE TRK STND.	0.2 LOW
		PHOENIX DACTYLIFERA "ZAHIDI DATE PALM"	18" BTH DIAMOND CUT	0.5 MOD
		WASHINGTONIA ROBUSTA "MEXICAN FAN PALM"	18" BTH	0.5 MOD
DESERT ACCENTS				
		AGAVE SISALANA "SISAL"	15 GAL.	0.2 LOW
		AGAVE ANGUSTIFOLIA "CARIBBEAN AGAVE"	15 GAL.	0.2 LOW
		AGAVE GEMINIFLORA "TUIN-FLOWERING AGAVE"	5 GAL.	0.2 LOW
		HESPERALOE PARVIFLORA "DESERT FLAMENCO"	5 GAL.	0.2 LOW
		ECHINOCACTUS GRISONII "GOLDEN BARREL CACTUS"	5 GAL.	0.2 LOW
SHRUBS				
		CAESALPINIA FULCHERRIMA "RED BIRD OF PARADISE"	15 GAL.	0.2 LOW
		LEUCOPHYLLUM FRUINOSUM "SIERRA BOUQUET"	5 GAL.	0.2 LOW
		LEUCOPHYLLUM FRUTESCENS "WHITE CLOUD"	5 GAL.	0.2 LOW
		SENNA ARTEMISIOIDES "FEATHERY CASSIA"	5 GAL.	0.2 LOW
		TECOMA STANS "YELLOW BELLS"	5 GAL.	0.5 MOD
		LEUCOPHYLLUM LANGMANIAE "LYNS LEGACY"	5 GAL.	0.2 LOW
		OLEA EUROPAEA "LITTLE OLLIE"	5 GAL.	0.2 LOW
		RUSSELLIA EQUISETIFORMIS "CORAL BELLS"	5 GAL.	0.5 MOD
		LEUCOPHYLLUM ZYGOPHYLLUM "CIMARRON"	5 GAL.	0.2 LOW
		CARISSA MACROCARPA "BOXWOOD BEAUTY"	5 GAL.	0.5 MOD
		CALLISTEMON VIMINALIS "LITTLE JOHN"	5 GAL.	0.5 MOD
GRASSES				
		MUHLENBERGIA CAPILLARIS "REGAL MIST"	5 GAL.	0.5 MOD
		LOMANDRA LONGIFOLIA "PLATINUM BEAUTY"	5 GAL.	0.5 MOD
		DIANELLA TASMANICA "VARIEGATA"	5 GAL.	0.5 MOD
GROUNDCOVER & VINES				
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		EVOLVULUS GLOMERATUS "HAWAIIAN BLUE EYES"	5 GAL.	0.2 LOW
		BOUGANVILLEA "LA JOLLA"	5 GAL.	0.5 MOD
		DURANTA REPENS "SKY FLOWER"	5 GAL. STK.	0.5 MOD

SLOPE PLANTING EXHIBIT
PRELIMINARY LANDSCAPE PLAN
LA QUINTA VILLAGE APARTMENTS
 PARKER DEVELOPMENT
 CITY OF LA QUINTA, CA

NOTE:
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WATER CONSERVATION STATEMENT
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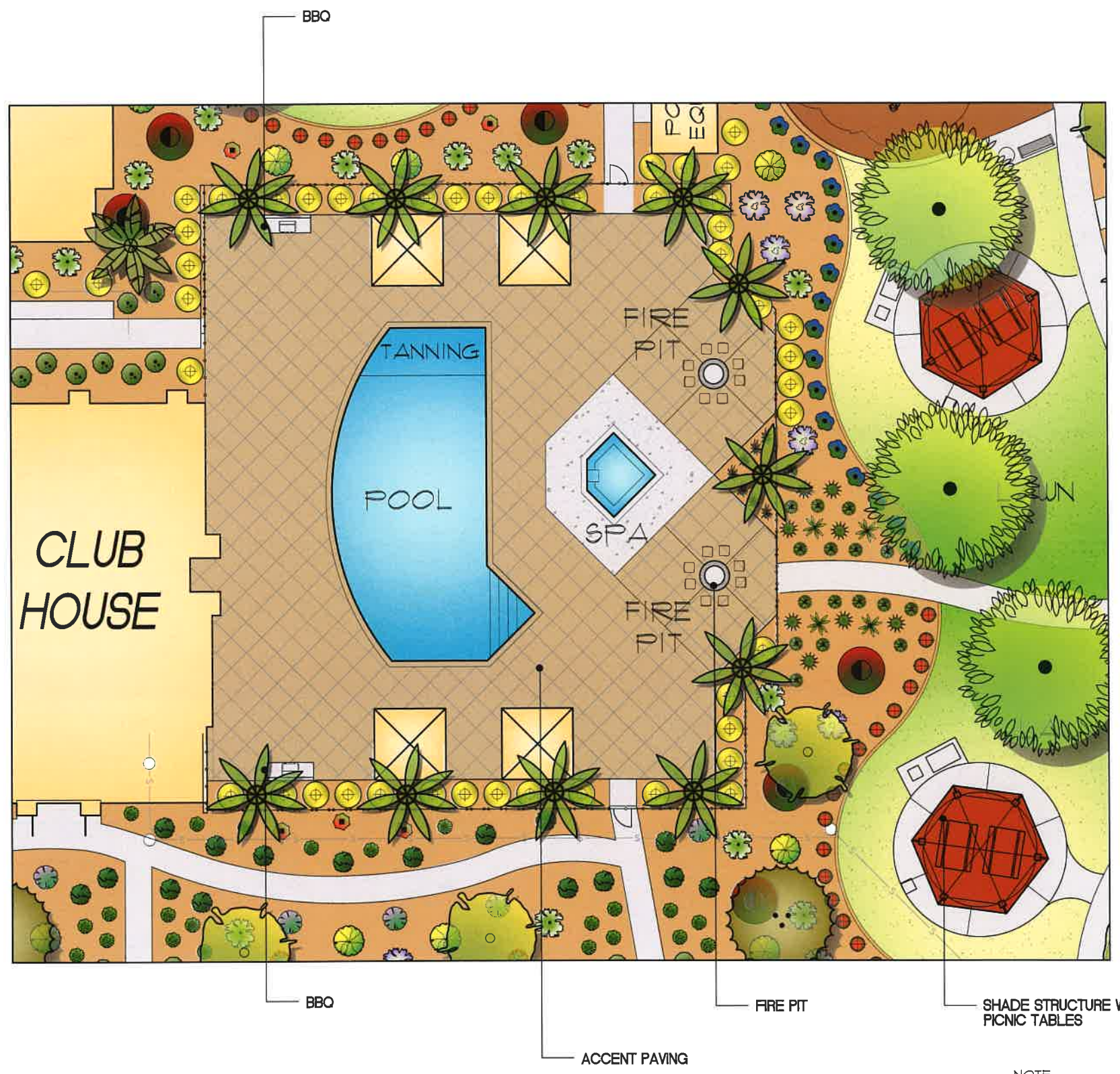


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LP-3

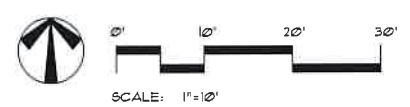
PLANT LIST

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		HESPERALOE PARVIFLORA "DESERT FLAMENCO"	5 GAL.	02 LOW
		ECHINOCACTUS GRUSONII "GOLDEN BARREL CACTUS"	5 GAL.	02 LOW
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		CAESALPINIA FULCHERRIMA "RED BIRD OF PARADISE"	15 GAL.	02 LOW
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		CALLISTEMON VIMINALIS "LITTLE JOHN"	5 GAL.	05 MOD
GRASSES				
		MUHLENBERGIA CAPILLARIS "REGAL MIST"	5 GAL.	05 MOD
		LOMANDRA LONGIFOLIA "PLATINUM BEAUTY"	5 GAL.	05 MOD
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GROUND COVER & VINES				
		DALEA GREGGII "TRAILING INDIGO BUSH"	5 GAL.	02 LOW
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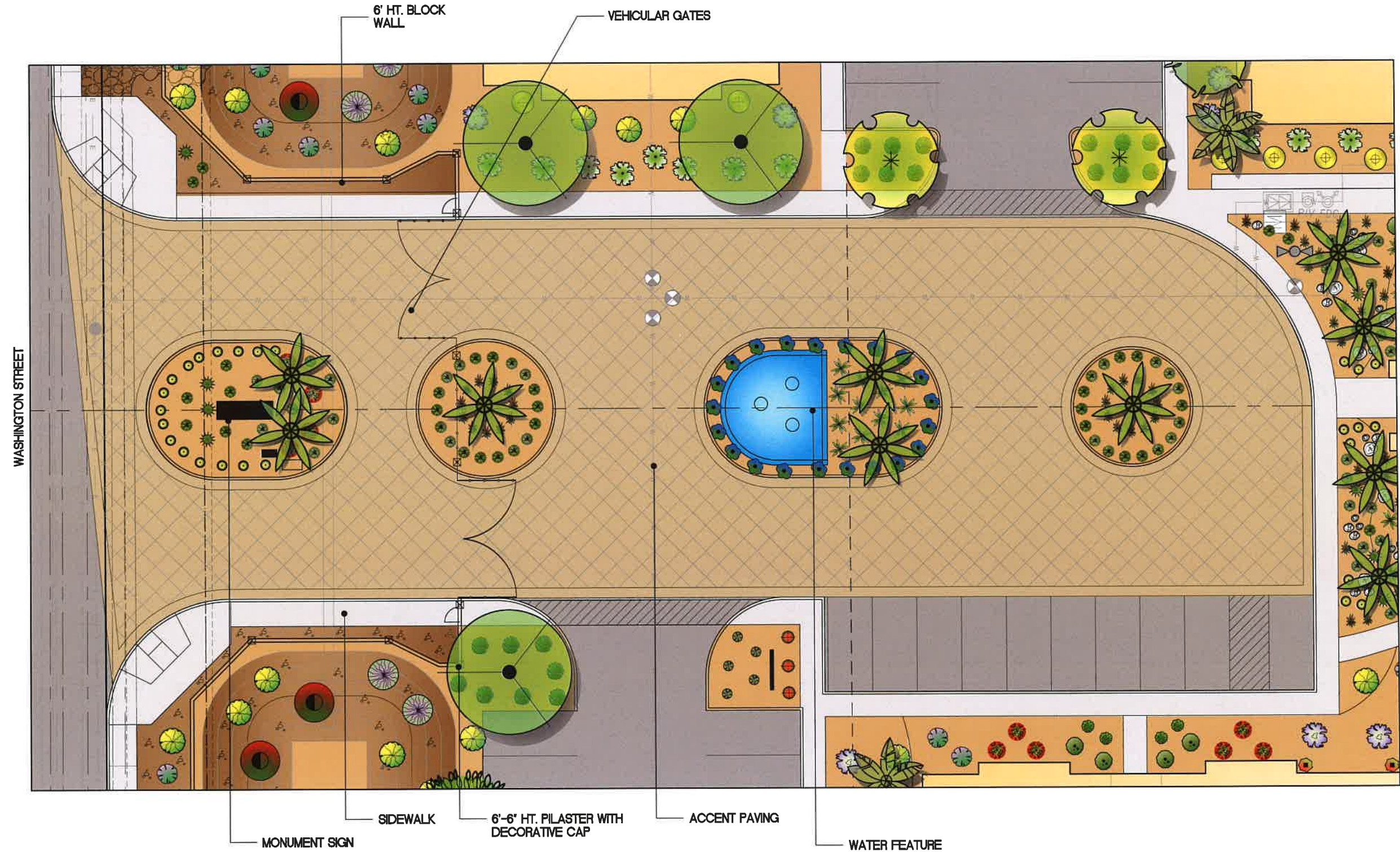
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POOL AREA PRELIMINARY LANDSCAPE PLAN LA QUINTA VILLAGE APARTMENTS PARKER DEVELOPMENT CITY OF LA QUINTA, CA

LP-4

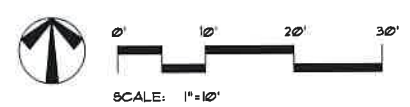
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ENTRY
 PRELIMINARY LANDSCAPE PLAN
LA QUINTA VILLAGE APARTMENTS
 PARKER DEVELOPMENT
 CITY OF LA QUINTA, CA

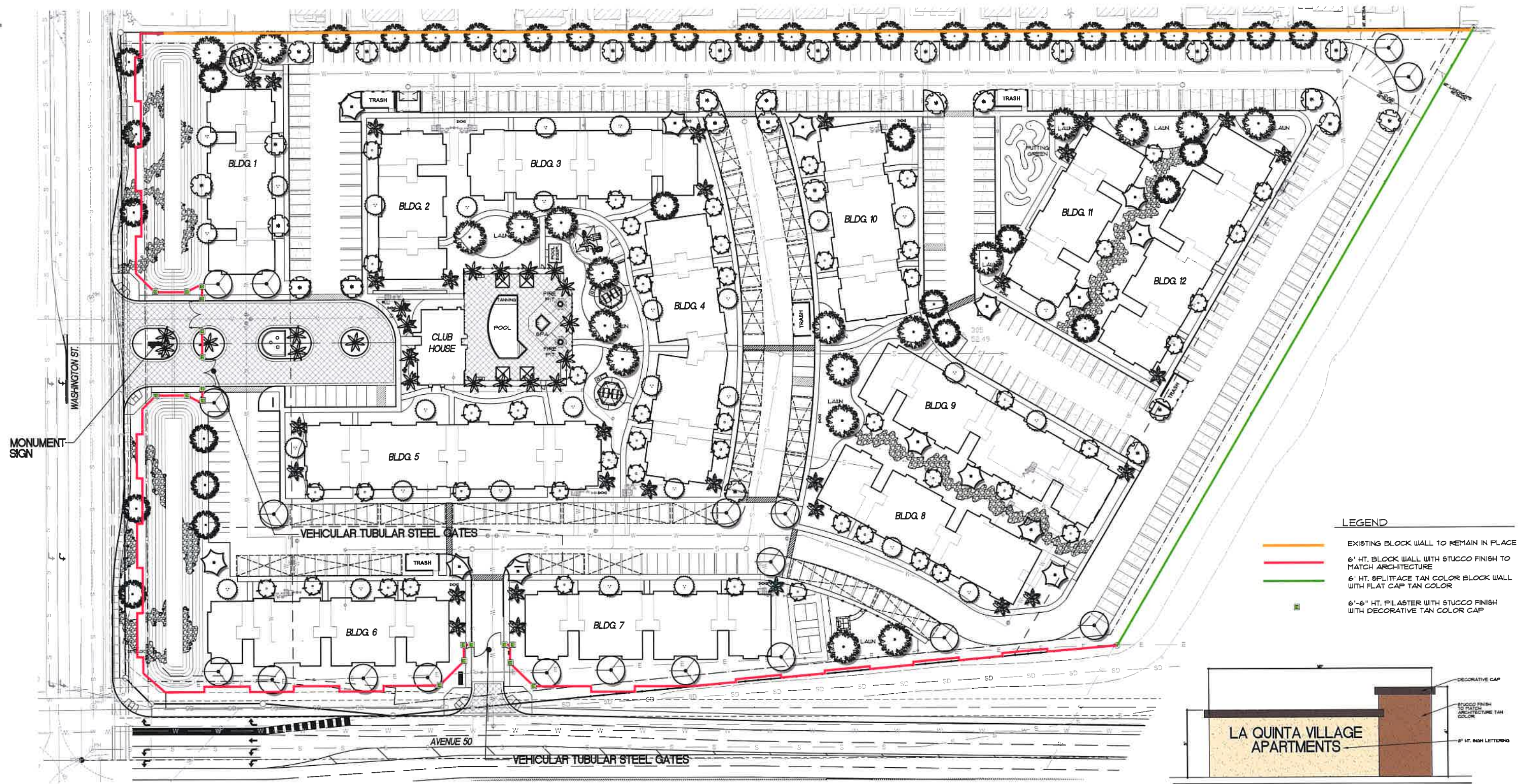
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WATER CONSERVATION STATEMENT
 LANDSCAPING IS CONSISTENT WITH THE REQUIREMENTS OF THE COACHELLA VALLEY WATER DISTRICT ORDINANCE 1302.1. THE IRRIGATION SYSTEM SHALL BE DESIGNED FOR EFFICIENT PERFORMANCE WITH CONSERVATION IN MIND. POINT SOURCE DRIP / BUBBLER SYSTEMS WILL PROVIDE DIRECT WATER TO THE SHRUBS AND TREES.



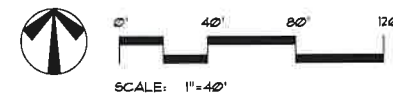
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LP-5



CONCEPTUAL WALL AND FENCE PLAN
PRELIMINARY LANDSCAPE PLAN
LA QUINTA VILLAGE APARTMENTS
 PARKER DEVELOPMENT
 CITY OF LA QUINTA, CA

LP-6



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DATE 8/15/23