

# SPECIFIC PLAN 03-067

**NOVEMBER 2023**

**AMENDMENT V OF ANDALUSIA AT CORAL MOUNTAIN**



**A Development by:**

**SUNRISE LQ, LLC  
MBGDWAVE, LLC A DELAWARE LIMITED LIABILITY COMPANY  
CM WAVE DEVELOPMENT, LLC**

**Prepared for:**

**THE CITY OF LA QUINTA, CALIFORNIA  
COMMUNITY DEVELOPMENT DEPARTMENT**

# PROJECT TECHNICAL TEAM

## ANDALUSIA (EAST TRACT )

### **SUNRISE LQ, LLC**

300 Eagle Dance Circle  
Palm Desert, CA 92211

### **MBGDWAVE, LLC, A DELAWARE LIABILITY COMPANY**

23622 Calabasas Road Suite 200  
Calabasas, CA 91302

### **CITY OF LA QUINTA COMMUNITY DEVELOPMENT DEPARTMENT**

Les Johnson  
Community Development Director  
78-495 Calle Tampico  
La Quinta, CA 92253

### **MASTER PLANNING**

Hart Howerton  
1 Union Street Floor 3  
San Francisco, CA 94111

### **LANDSCAPE ARCHITECT**

RGA Landscape Architects, Inc.  
73061 El Paseo Suite 210  
Palm Desert, CA 92260

### **CIVIL ENGINEERING**

Watson Engineering  
50-200 Monroe Street  
Indio, CA 92201

## CORAL MOUNTAIN CLUB (WEST TRACT)

### **CM WAVE DEVELOPMENT, LLC**

2001 Wilshire Blvd. Suite 401  
Santa Monica, CA 90403

### **MERIWETHER COMPANIES**

2001 Wilshire Blvd. Suite 401  
Santa Monica, CA 90403

### **ENTITLEMENTS**

MSA Consulting, Inc.  
34200 Bob Hope Drive  
Rancho Mirage, CA 92270

### **CITY OF LA QUINTA DESIGN & DEVELOPMENT DEPARTMENT**

Danny Castro  
Design and Development Director  
78-495 Calle Tampico  
La Quinta, CA 92253

### **DMK GOLF DESIGN, INC.**

2755 NW Crossing Drive Suite 225  
Bend, OR 97703

### **LANDSCAPE ARCHITECT AND PLANNING**

VITA, Inc.  
181 3rd Street Suite 100  
San Rafael, CA 94901

# TABLE OF CONTENTS

<b>1</b>	<b>INTRODUCTION</b>	
1.1	EXECUTIVE SUMMARY .....	1.1
1.2	PURPOSE AND INTENT .....	1.2
1.3	PROJECT REGIONAL SETTING .....	1.3
1.4	PROJECT LOCAL SETTING .....	1.4
1.5	PROJECT HISTORY .....	1.6
1.6	ENABLING LEGISLATION .....	1.8
1.7	CEQA COMPLIANCE .....	1.9
<b>2</b>	<b>PLANS, PROGRAMS AND GUIDELINES</b>	
2.1	THE LAND USE CONCEPT .....	2.1
2.1.1	Planning Area Breakdown .....	2.2
2.2	LAND USE .....	2.3
2.2.1	Land Use / General Plan Context .....	2.3
2.2.2	Existing General Plan / Land Use .....	2.4
2.2.3	Proposed General Plan / Land Use .....	2.5
2.3	ZONING .....	2.6
2.3.1	Existing Zoning .....	2.6
2.3.2	Proposed Zoning .....	2.7
2.4	The Land Use Master Plan .....	2.8
2.4.1	Land Use By Planning Area .....	2.9
2.5	CIRCULATION PLAN .....	2.23
2.5.1	Offsite Improvements .....	2.25
2.5.2	Onsite Improvements .....	2.25
2.6	MASTER PLAN SUPPORTING ELEMENTS .....	2.27
2.6.1	Open Space and Recreation .....	2.27
2.6.2	Infrastructure and Utilities Plan .....	2.28
2.6.3	Water and Sewer Plan .....	2.28
2.6.4	Electricity .....	2.29
2.6.5	Natural Gas .....	2.29
2.6.6	Telephone .....	2.29
2.6.7	Refuse Collection .....	2.29
2.6.8	School Service .....	2.30
2.6.9	Law Enforcement .....	2.30
2.6.10	Fire Protection .....	2.30
2.6.11	Library Facilities .....	2.30
2.7	<b>ANDALUSIA (EAST TRACT) DESIGN GUIDELINES &amp; STANDARDS</b> .....	2.31
2.7.1	The Specific Plan 03-067 Community Image .....	2.33
2.7.2	Commercial Architectural and Site Guideline .....	2.33
2.7.3	The Specific Plan 03-067 Golf and Country Club Facilities .....	2.37
2.7.4	Residential Site Planning Guidelines .....	2.46

2.7.5	Grading Design Standards and Guidelines .....	2.53
2.7.6	THE CORAL MOUNTAIN (WEST TRACT) PHASING PLAN .....	2.54
2.7.7	PLANT MATERIAL PALETTE.....	2.55
2.8	WEST TRACT DESIGN GUIDELINES & STANDARDS .....	2.57
<b>3</b>	<b>ZONING AND DEVELOPMENT REGULATIONS</b>	
3.1	SPECIFIC PLAN OVERLAY DISTRICTS .....	3.1
3.1.1	Planning Area I .....	3.3
3.1.2	Planning Area II .....	3.6
3.1.3	Planning Area III .....	3.9
3.1.4	Planning Area IV .....	3.12
3.1.5	Planning Area V .....	3.14
3.1.6	Planning Area VI .....	3.17
3.2	SPECIFIC PLAN AMENDMENTS .....	3.20
3.2.1	Specific Plan Amendment Procedures .....	3.20
3.3	DENSITY TRANSFER PROVISIONS .....	3.21
<b>4</b>	<b>GENERAL PLAN CONSISTENCY</b>	
4.1	ANDALUSIA (EAST TRACT) GP CONSISTENCY .....	4.1
4.2	CORAL MOUNTAIN CLUB (WEST TRACT) GP CONSISTENCY .....	4.7

## 1.1 EXECUTIVE SUMMARY

The Specific Plan 03-067 is organized in four sections.

**Section 1: Introduction.** This section provides an overview of the document, project setting and history, exiting approvals, the legislative authority for the specific plan process and the method of compliance with the California Environmental Quality Act (CEQA).

**Section 2: Plans, Programs, and Guidelines.** This section provides the organizational framework of the Land Use Plan and related plan exhibits. This section establishes the land use policy for the Specific Plan 03-067 area and provides the design guidelines which set design and development criteria and direction for individual projects within the Specific Plan boundary. Subsequent to the filing of the Specific Plan documents, separate Use Permit applications will be filed which will delineate development criteria for the golf clubhouse and ancillary support structures and buildings, residential units, and supporting maintenance facility areas.

**Section 3: Zoning and Development Regulations.** This section establishes the zoning applicable to land within the Specific Plan 03-067 area boundary. Development Regulations are presented for each Planning Area within the Specific Plan boundary.

**Section 4: General Plan Consistency.** This section uses the key land use issues statement of each element of the City of La Quinta General Plan as the basis for evaluating the consistency of the Specific Plan 03-067 with the City of La Quinta General Plan.

## 1.2 PURPOSE AND INTENT

The Specific Plan presented herein is a comprehensive planning and development document intended to guide development of lands within the Specific Plan 03-067 area boundary. This document establishes development plans, guidelines, and regulations for the project plan area and specifies development criteria for various use permit entitlements scheduled to be developed within the plan area.

This document is intended to insure a high quality of development consistent with the goals, objectives, and policies of the City of La Quinta General Plan and the goals of the developers of the property. These goals include:

- Implementation of a plan which recognizes, and wherever possible, protects the environmental characteristics of the property;
- Creation of a community with a balance of appropriate land uses and a range of housing types;
- Development of complementary recreational and commercial facilities which will serve a range of housing types;
- Development of a community which provides a safe, secure and ecologically sound living environment.

This Specific Plan guides the standard of development for Specific Plan 03-067 and is structured to provide a degree of flexibility to address market-driven demand changes. The Specific Plan 03-067 Amendment II establishes and updates the design and development zoning policies applicable to development within the Specific Plan area described herein and establishes the regulations and standards which serve as the ordinance and development regulation for the property.

This documents removes all land area south of Avenue 60 from the existing Specific Plan land area, which is concurrently being processed under the “Trilogy at La Quinta, Shea Homes Community.”

Amendment V adjusts the location and layout of residential, golf and commercial uses on the west side of Madison Street and establishes fresh planning, architectural and landscape design guidelines for that area. The area East of Madison Street (Andalusia) remains as it is with no changes. Revised text is shown in red and revised exhibits are outlined in red, relating to the Western area (Coral Mountain Club) being revised. Any inconsistencies between the revised text and exhibits and the currently adopted Specific Plan document for the area outlined in red are to be interpreted in favor of the revised text and exhibits.

### 1.3 PROJECT REGIONAL SETTING

The Original Specific Plan approval referred to as SP218 approved in Riverside County was located within the County of Riverside, in the Coachella Valley south and east of the City of La Quinta. The Santa Rosa Mountains are located to the west, Salton Sea to the southeast and Little San Bernardino Mountains to the northeast. The project site included 1,280 acres bounded to the north by Avenue 58, south by Avenue 62, west of Jackson Street and east of Lake Calhoun County Park. The project site is located on the U.S. Geological Survey Indio, La Quinta, Martínez Mountain and Valerie Quadrangle Maps, including portions of Sections 26,27,28, 34 and 35 of Township 6 South and Range 7 East, San Bernardino Base and Meridian.

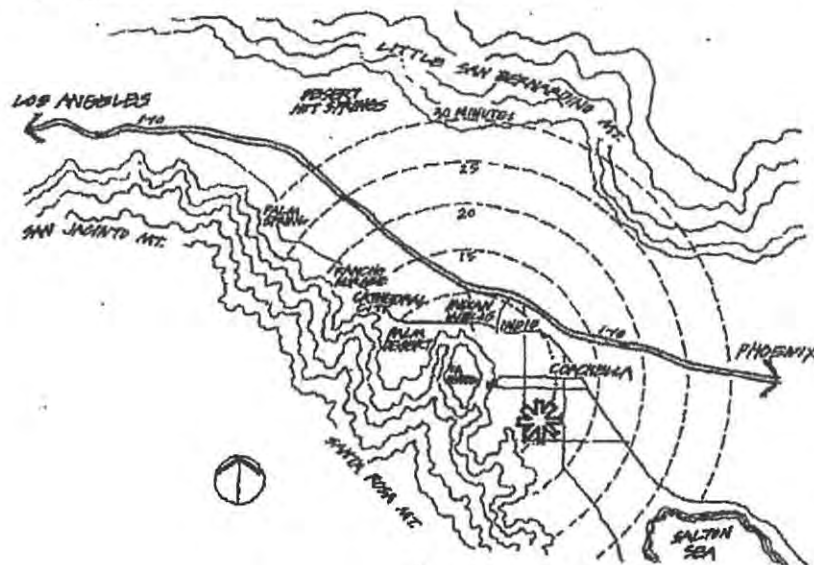


Exhibit 1

In 1999 the project was renamed to "Coral Mountain" after a significant landform which has been historically referred to as "Coral Reef Mountain." This significant geological feature forms part of what is referred to as the "Remnant of Ancient Shoreline" on the Recreation & Thoroughfare Map of Desert Communities.

The Coachella Valley is divided into the Upper and Lower Coachella Valley Land Use Planning Area profiles and the project site is located within the Lower Coachella Land Use Planning Area. The predominant land use in the area is agriculture, including dry farming and citriculture, while a large portion of the Planning Area is vacant, non-irrigated desert. Several sections of land in the Planning Area are under Indian (Torres Martinez and Augustine Indian reservations) and Bureau of Land Management (BLM) ownership. The resulting checkerboard pattern is found throughout eastern Riverside County.

Coral Mountain Specific Plan Amendment 1 included 1,280 acres of flat, slightly sloping land. Approximately 355 acres have been added to the plan area bringing the total acreage of the previous plan to roughly 1635. The elevation ranges from approximately sea level in the western portion of the site to 90 feet below sea level in the eastern portion.

## 1.4 PROJECT LOCAL SETTING

The Specific Plan boundary is within the City of La Quinta, a 31 square mile municipality located in the southwestern portion of the Coachella Valley. The City, which was incorporated in 1982, is bounded on the west by the City of Indian Wells, on the east, by the City of Indio and Riverside County, on the north by Riverside County, and Federal and County lands to the South.

The amended Specific Plan project site is generally defined by Avenue 58 along the Northerly boundary, Monroe Street to the East, Avenue 60 to the South, and to the West, vacant land and portions of the flood control dike.

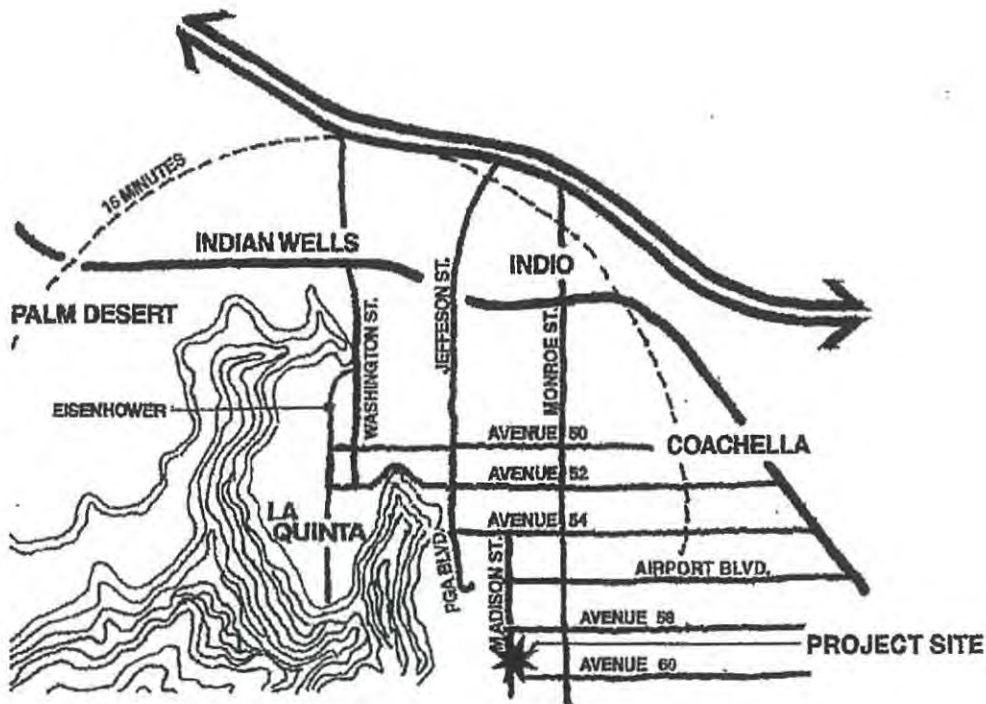


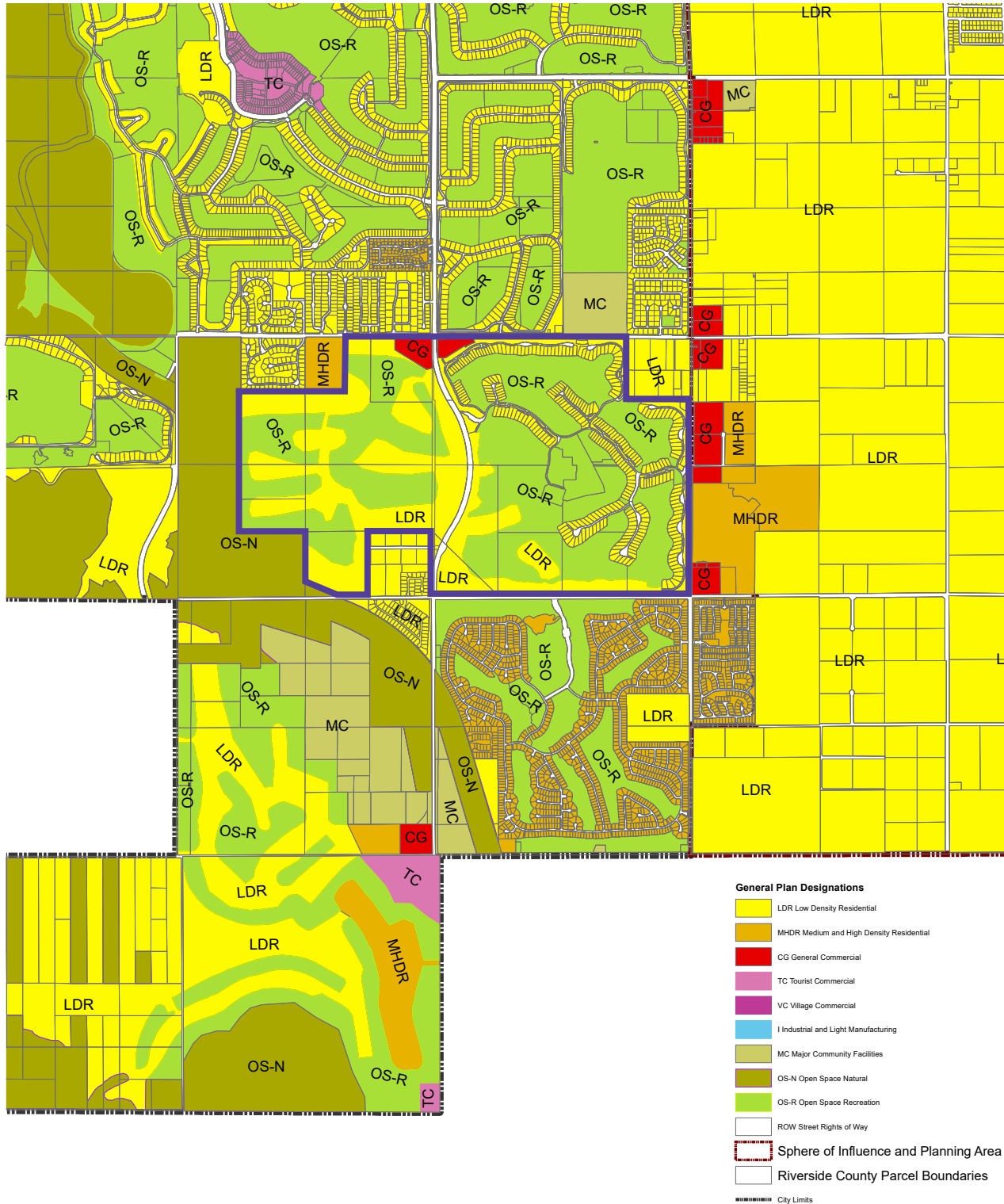
Exhibit 2

Specific Plan 03-067 is accessible from Interstate 10 by way of Jefferson Street and Madison Street or Monroe Street.

The Specific Plan 03-067 project continues the implementation of a network of General Plan roads and infrastructure within the City's Master Plan for development and exemplifies a quality of growth that reiterates the City's emergence as a desert resort community with the highest standards for resort residential and recreational development.



Property adjacent to Specific Plan 03-067 is designated by the General Plan for a variety of land uses. Low Density Residential (LDR) and **Open Space Recreation (OS-R)** uses are proposed and existing to the north and south of the property. The property west of the project site is designated as **Open Space Natural (OS-N)**.



## 1.5 PROJECT HISTORY

### A Brief History of the Coral Mountain Specific Plan's Previous Entitlement

The property is currently approved for various uses under the name Coral Mountain Specific Plan Amendment I. This Specific Plan is an amendment to the earlier approval document filed in the County of Riverside known as Rancho La Quinta Specific Plan 218.

The existing Specific Plan under Amendment I incorporates 23 acres of Commercial Use, 689 acres of residential use and associated land, and three golf courses on approximately 567 acres – all uses totaling approximately 1280 acres. The portion of the plan south of Avenue 60 is currently being built out by Shea Homes under The Coral Mountain Specific Plan Amendment I. Changes to the development scenario delineated in the current Coral Mountain Specific Plan south of Avenue 60 will be addressed in a separate Specific Plan under the name “Trilogy at La Quinta, Shea Homes Community”.

The Specific Plan 03-067 as proposed herein delineates a bifurcation of the “Trilogy” plan area south of Avenue 60 from the land area north of Avenue 60. The area north of Avenue 60 will use the name Specific Plan 03-067 while the area south of Avenue 60 will acquire the name “Shea Homes” and will be developed within the parameters of the Coral Mountain Specific Plan Amendment 1 document.

Amendment II was approved in 2003 by the City of La Quinta and renamed the Specific Plan from “Rancho La Quinta” to “Coral Mountain” Specific Plan. This amendment also removed the Trilogy project from the Specific Plan.

Amendment III was approved in 2013 by the City of La Quinta and relocated the east tract golf clubhouse and provided higher density around the east tract golf clubhouse.

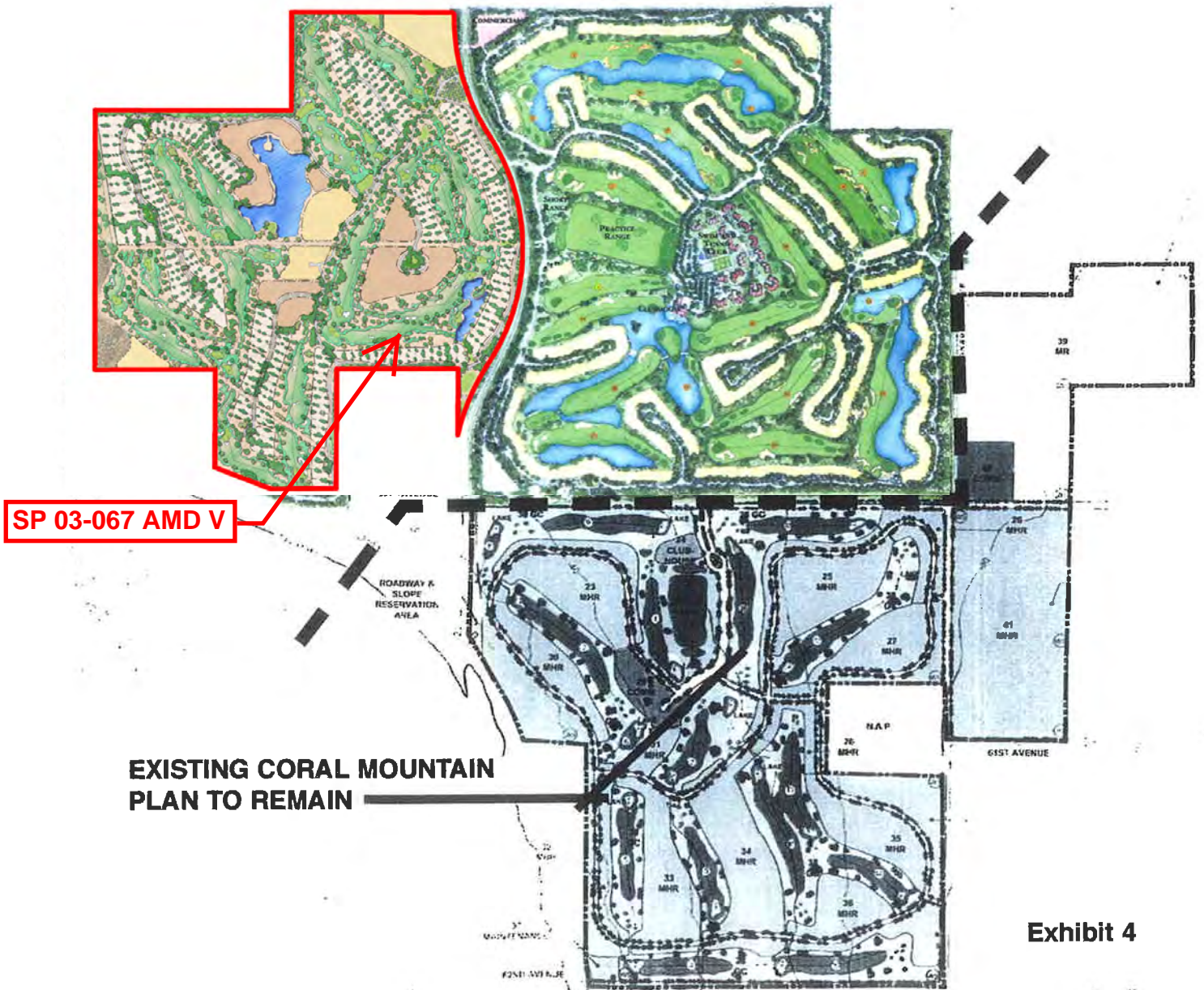
Amendment IV was approved by the City of La Quinta in 2017 as "Amendment IV of the Andalusia at Coral Mountain Specific Plan (SP-067)". It revised development standards in Planning Area II around the golf clubhouse to allow for 80 attached/detached residential villas of up to 2 stories on 16 acres.

Amendment V adjusts the location and layout of residential, golf and commercial uses on the West side of Madison Street (Coral Mountain Club) and establishes fresh planning, architectural and landscape design guidelines in that area. The Specific Plan as it applies to land east of Madison Street (Andalusia) remains as it is with no changes.

The development plan for the Specific Plan 03-067 plan area includes:

- The development of two championship golf courses and Club amenities;
- The development of 1,400 residential units;
- The development of supporting infrastructure to assure adequate facilities and services.

**PROPOSED SPECIFIC PLAN 03-067**



**Exhibit 4**

## 1.6 ENABLING LEGISLATION

- The authority to prepare, adopt, and implement the Coral Mountain Specific Plan is granted to the City of La Quinta by the California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457).
- As with General Plans, the Planning Commission must hold a public hearing before it can recommend to the City Council the adoption of a Specific Plan or an amendment thereto. The City Council of La Quinta may adopt a Specific Plan and/or an amendment to the Specific Plan by either ordinance or resolution.
- The Specific Plan 03-067 is a regulatory document that, once adopted, will serve as the General Plan, the Zoning Ordinance, and Development Code (Specific Plan) for the amended plan area. As such, the adopted plan, once incorporated by reference, makes consistent the La Quinta General Plan. Upon completion of the Specific Plan amendment and adoption process, future development must be consistent with the Specific Plan and amendments thereto.

## **1.7 CEQA COMPLIANCE**

### **Specific Plan 03-067**

The following statements address the City of La Quinta's responsibility to address CEQA compliance in the preparation of a Negative Declaration of environmental impact (NEG-DEC).

- (a) The lead agency or responsible agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred.
- (b) An addendum to an adopted Negative Declaration may be prepared if only minor technical changes or additions are necessary.
- (c) An addendum need not be circulated for public review but can be included in or attached to the final EIR or adopted Negative Declaration.
- (d) The decision making body shall consider the addendum with the final EIR or adopted negative declaration prior to making a decision on the project.
- (e) A brief explanation of the decision not to prepare a subsequent EIR pursuant to Section 15162 should be included in an addendum to an EIR, the lead agency's findings on the project, or elsewhere in the record. The explanation must be supported by substantial evidence.

# 2 Plans, Programs and Guidelines

---

## 2.1 THE LAND USE CONCEPT

### 1. Residential Uses

The project encompasses two residential “neighborhoods” located on either side of Madison Street. One of the “neighborhoods” is envisioned as a private country club featuring one of the two 18 hole championship golf courses and corresponding low density neighborhoods, and the other “neighborhoods” is envisioned as a low to medium density residential offering within the second championship course.

Product types may include single-family detached and attached units. Residential development is anticipated to occur over approximately 50% of the total acreage within the Specific Plan area with the balance of the property in open space, golf course, and other recreation based land use.

### 2. Commercial Use

Commercial development is proposed to be located on approximately 12.7 acres of land located on the Southwest & Southeast corner of Madison Street and Avenue 58. Commercial development will consist of a mixture of commercial retail and resort-related commercial development. It is anticipated that the commercial retail development will include both neighborhood commercial and visitor serving commercial uses.

### 3. Parks/ Open Space/ Recreation

The primary recreational component of the development will be two 18-hole championship golf courses designed by Rees Jones which will occupy approximately 45% of the Specific Plan area. In addition to its function as a recreational component, the golf course will also provide a visual amenity within the Specific Plan area with a significant number of residential units having frontage on and/or views of the golf courses. The conceptual layout for the golf courses is shown on the Master Plan graphic. Individual developments within the Specific Plan area may have additional recreational amenities including tennis and swimming facilities.

### 4. Circulation

The circulation plan for Specific Plan 03-067 is intended to utilize existing local area roadways to provide the access to the Specific Plan area. These roadways include Avenue 60, Avenue 58, Avenue 62, Monroe Street and Madison Street. The internal circulation system will consist of a series of loop roads providing access to the individual residential and recreational components within the Specific Plan area.

Additional information is provided in the Circulation element of this document in Section 2.5.

## 2.1.1 Planning Area Breakdown

The Specific Plan 03-067 document breaks the plan area into six distinct sub areas, with corresponding “site driven” development regulations and design criteria. These Planning Areas are depicted in Exhibit 4 shown below.

### Planning Areas within the Specific Plan 03-067 Community

Planning Area I is characterized by the club facilities, supporting parking and circulation elements, and associated open space area.

Planning Area II is defined by villa residential dwelling units of one and two stories with associated pools and open space areas.

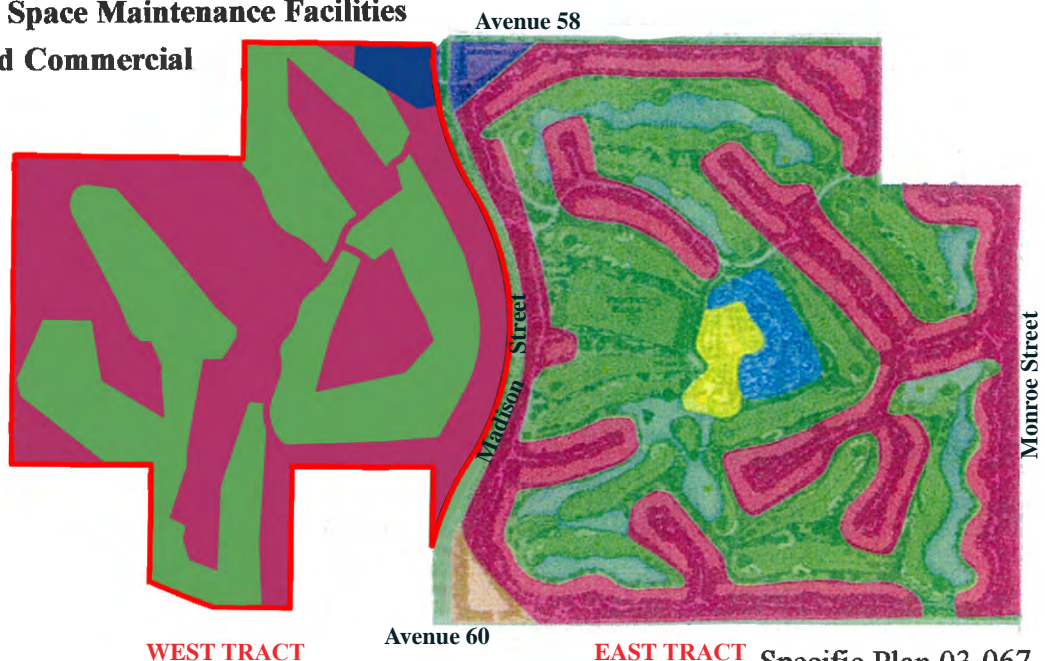
Planning Area III is defined by various residential dwelling product types of one and two stories with associated pools, spas and open space areas.

Planning Area IV is defined by the golf and open space maintenance facilities.

Planning Area V is defined by the neighborhood commercial site and its supporting parking and circulation elements.

Planning Area VI addresses golf course areas and the primary stormwater management and retention zone of the plan area.

- I** Golf Club & Recreation Amenities
- II** Multifamily Residential Use
- III** Residential Use
- IV** Golf & Open Space Maintenance Facilities
- V** Neighborhood Commercial
- VI** Golf Course



## **2.2 LAND USE**

### **2.2.1 Land Use / General Plan Context**

The Specific Plan 03-067 amends the existing Specific Plan I and implements the City of La Quinta General Plan by bringing together detailed policies and regulations into a focused development plan for the Specific Plan area. The Specific Plan 03-067 is a regulatory document which, when adopted by the City Council of La Quinta, governs all facets of project development including the distribution of land uses, location and sizing of supporting infrastructure, as well as development standards and regulations for uses within the plan area.

The location and alignment of the land uses and zones depicted herein are diagrammatic. The precise layout within subsequent site development permit applications for the resort residential unit clusters, recreation amenities and clubhouse and support facilities will determine the actual alignment and adjacency of each land use category.

This Specific Plan is prepared as a link between the La Quinta General Plan and subsequent development proposals for individual planning areas within the Specific Plan 03-067.

The Land Use Element of the La Quinta General Plan identifies and establishes the City's policy relative to the planned future pattern, intensity, density and relationships of land uses in the City as well as in the Specific Plan 03-067 plan area addressed herein. The purpose of the Land Use Element within the City's General Plan is to establish official City and plan area policy which:

- Identifies the general types, locations and distribution of land uses desired in La Quinta at buildout;
- Identifies standards for land uses relative to population and building density/intensity and the character and compatibility of land uses;
- Identifies desired courses of action/ strategies which provide the means to implement the community's land use policies while implementing the Specific Plan.

The Specific Plan 03-067 establishes consistency with, and implements the City's General Plan by:

- Specifying the land uses in the plan area;
- Delineating standards for land use compatibility with the City's policies;
- Providing the framework for development in an orderly manner;
- Making consistent the General Plan Land Use and Zoning Category for the property and the City's General Plan.



### 2.2.2 Prior General Plan / Land Use

Prior to Amendment IV, the Existing General Plan/Land Use for the plan area was Low Density Residential allowing 2-4 Dwelling Units per acre.



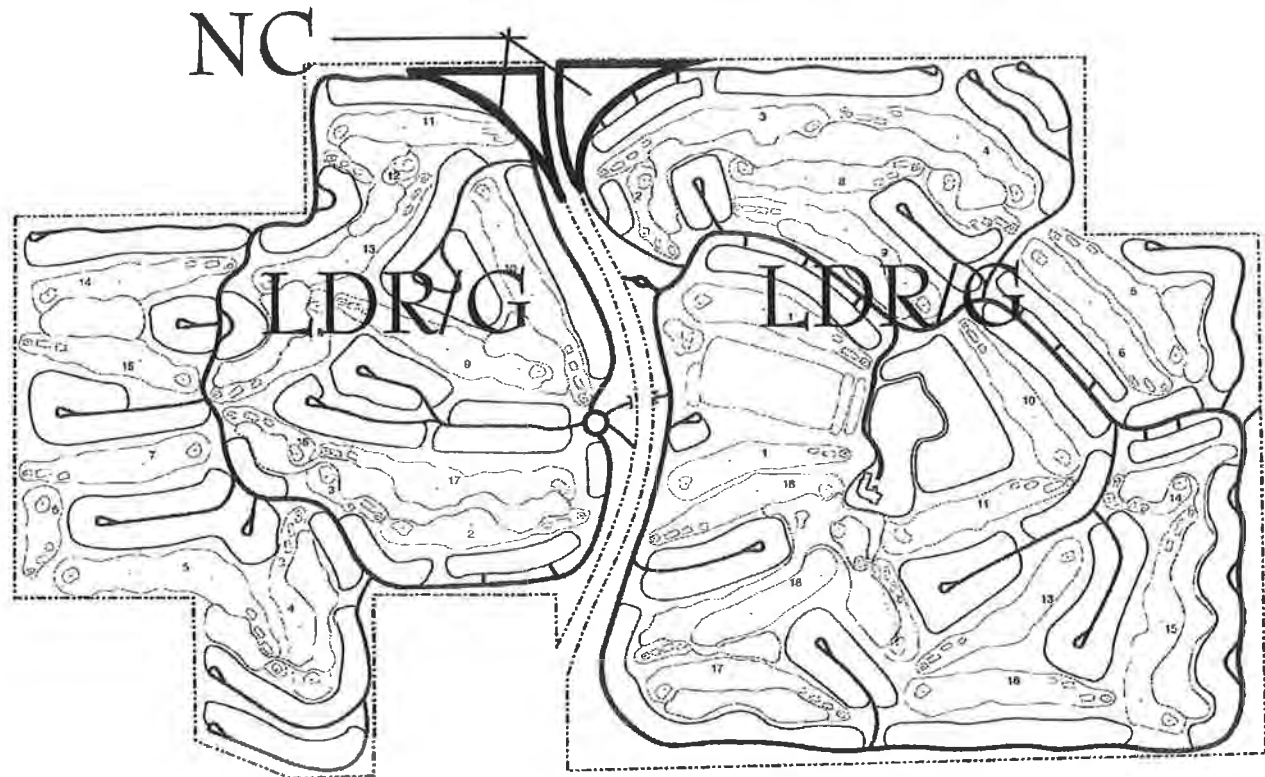
The adopted general plan and corresponding zone classification for Medium and Low Density Residential - LDR allows for a variety of housing types and supporting land use within the residential residential use. Golf use is currently allowed.

#### Residential Land Uses

- Low Density Residential -LDR
- Medium density Residential - MDR
- Golf - G
- Major Community Facility - MC

### 2.2.3 Proposed General Plan / Land Use

The proposed General Plan/Land Use for the plan area provides for Low Density Residential land use allowing up to 4 Dwelling Units per acre as well as sites for a Neighborhood Commercial center.



The adopted General Plan classification for Low Density Residential - LDR allows for a variety of housing types and supporting land use within the low density residential residential use. The adopted General Plan classification for Neighborhood Commercial-NC allows for a limited range of neighborhood serving commercial uses.

#### Proposed Land Use

- Low Density Residential – LDR
- Neighborhood Commercial – NC
- Golf - G

This section reflects Amendment IV. See Section 2.15, 2.19 and 2.21 for Amendment V Proposed West Tract Land Uses.

## 2.3 PRIOR ZONING

### 2.3.1 Prior Existing Zoning



Prior to Amendment IV, the existing Zoning was as described below.

The corresponding zone classification for residential, community facilities, and golf course use allows for a variety of housing types and supporting land use within the plan area.

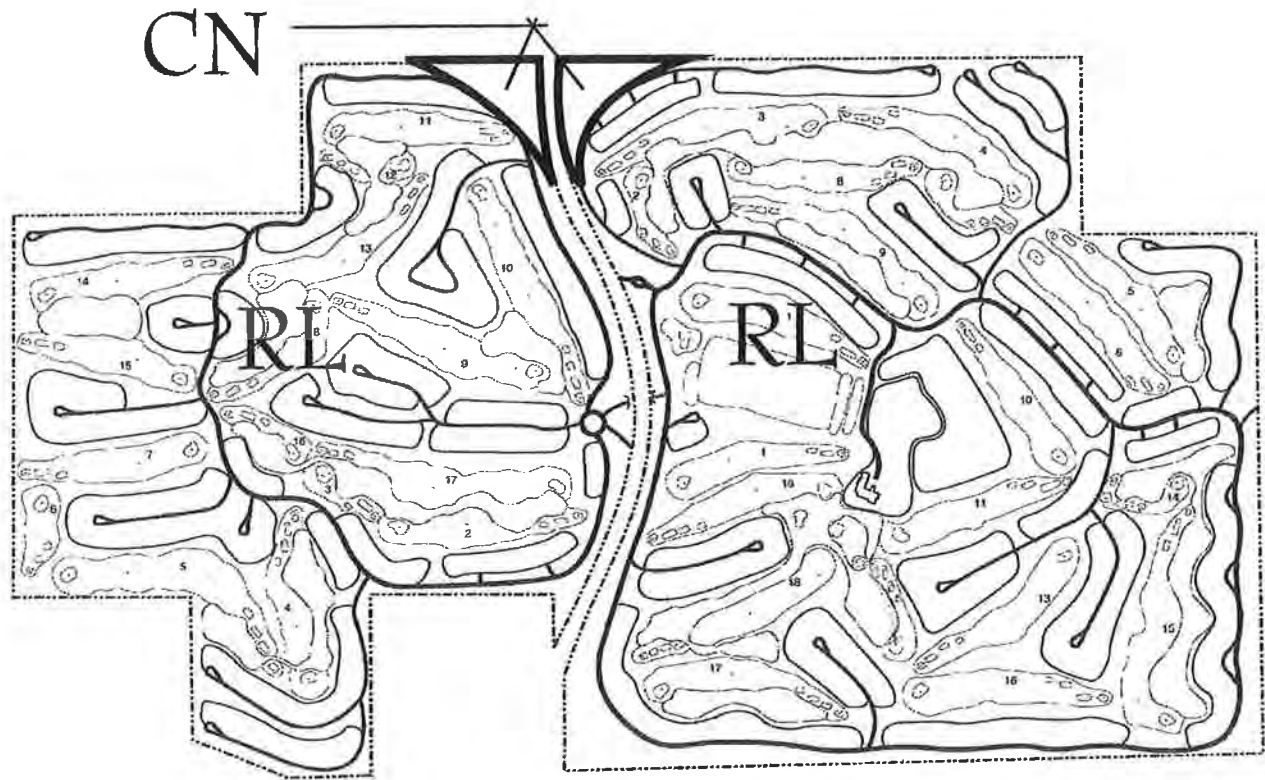
#### Residential Land Uses

- Low Density Residential – RL
- Medium Density Residential - RM
- Golf Course - GC
- Major Community Facility - MC

### 2.3.2 Proposed Zoning

The proposed Zoning for the plan area includes Low Density Residential (RL) allowing up to 4 dwelling units per acre and Neighborhood Commercial (CN).

The corresponding zone classification for Low Density Residential - RL allows for a variety of housing types and supporting land use within the low density residential use. The corresponding zone classification for Neighborhood Commercial (CN) allows for a limited variety of commercial land use and support facilities within the Neighborhood Commercial use.



#### Zoning Classifications

- Low Density Residential – RL
- Neighborhood Commercial (CN)
- Golf Course - GC

This section reflects Amendment IV. See Section 2.15, 2.19 and 2.21 for Amendment V Proposed West Tract Land Uses.

## 2.4 THE LAND USE MASTER PLAN

The Land Use Master Plan for the **fifth** amendment to the Coral Mountain Specific Plan reflects the development goal of providing a variety of residential units in a secluded setting of two championship golf courses and other private and semi-private recreational amenities.

The Land Use Master Plan graphically delineates the proposed uses located within each planning area of the overall amended Specific Plan. The Master Plan includes complementary architecture in all product types and common area buildings and club facilities as well as a hierarchy of landscape setbacks, pedestrian areas, and connecting circulation systems for pedestrians, bicycles and carts.

Development regulations for each planning area are presented in Section 3 - *Zoning and Development Regulations*. The Master Plan proposes 1400 units in Planning Area II and III distributed within a gross area of approximately **440** acres. These buildings are arranged in configurations which may include detached units, townhome styled units and/or stacked flats of two, four, and six units each. Additionally, a **12.7** acre neighborhood commercial area is being planned adjacent to the intersection of Madison Street and Avenue 58. The balance of the property is planned to be golf and open space use for the benefit of residents and their guests.

Planning Area I is characterized by the club facilities, supporting parking circulation elements, and associated open space area. This facility includes resident and guest serving recreation facilities and supporting uses for all residents and guests.

Planning Area II is defined by Villa Residential dwelling units of one and two stories with associated pools and open space area. These units are envisioned as attached and detached townhome “Casitas”.

Planning Area III is defined by various residential dwelling product types of one and two stories with associated pools and spas and associated open space areas. These units are envisioned as attached and detached single family units.

Planning Area IV is defined by the golf and open space maintenance facilities.

Planning Area V is defined by the Neighborhood Commercial site and its supporting parking and circulation elements. This site is envisioned to be developed as a pedestrian scale neighborhood serving a commercial area.

Planning Area VI is defined by the two golf course areas and associated open space, also serving as which is the primary stormwater management and retention zone of the plan area.

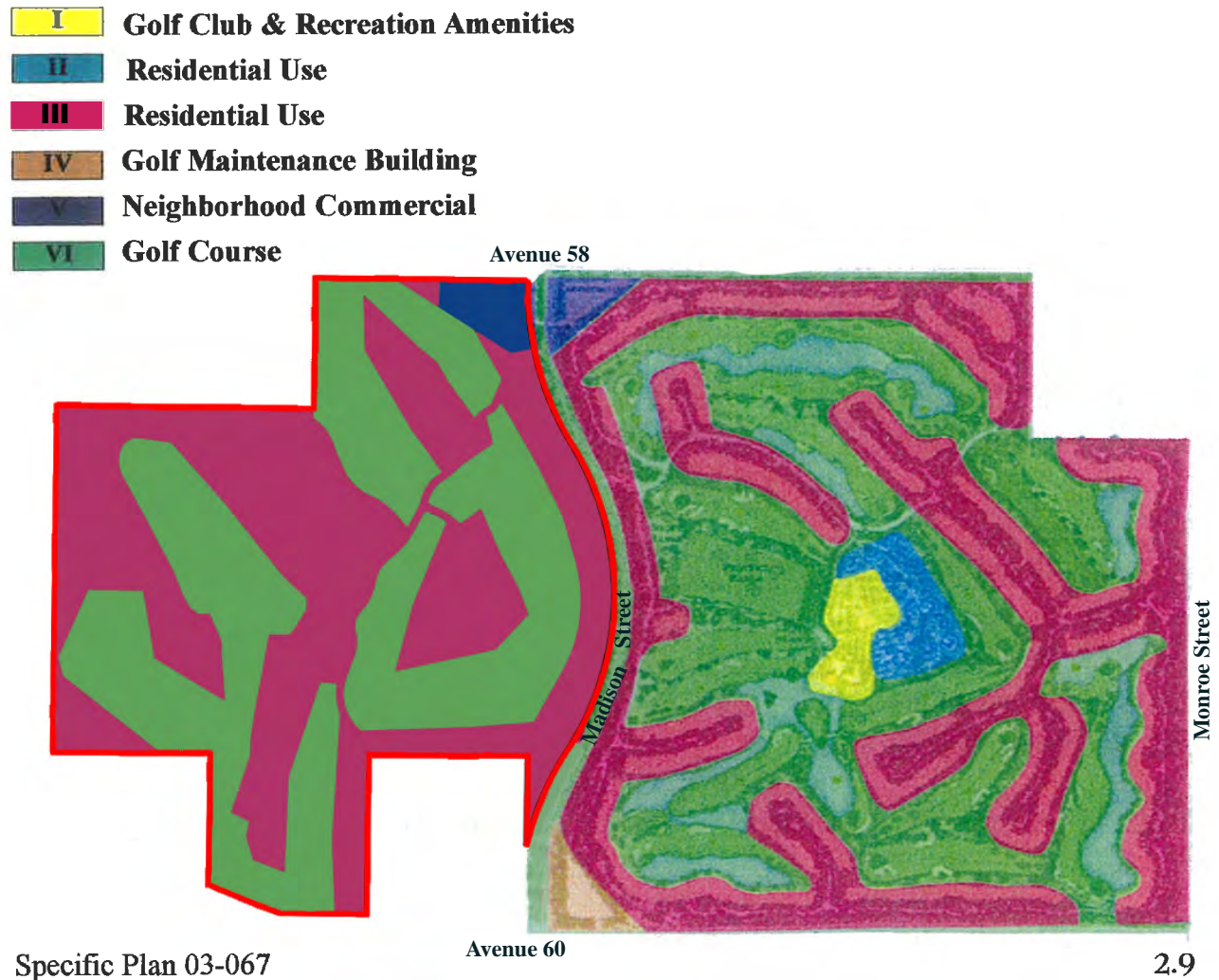
## 2.4.1 Land Use By Planning Area

A detailed discussion of the proposed land use for the Specific Plan 03-067 and the resulting change in development intensity is presented for each of the six planning areas. The Existing Land Use Table illustrates a tabulation of existing land use, existing zoning, acreage and densities within each planning area.

A range of land use categories are provided within the boundary of the Specific Plan 03-067, a range of land use categories are provided for. These include land use for the Golf and open space within the plan, various residential uses, a limited neighborhood serving commercial use and supporting ancillary facilities for proposed land uses.

The plan area is broken into six distinct planning areas. Development and Zoning criteria responding to the environment within each planning area is presented for each use area.

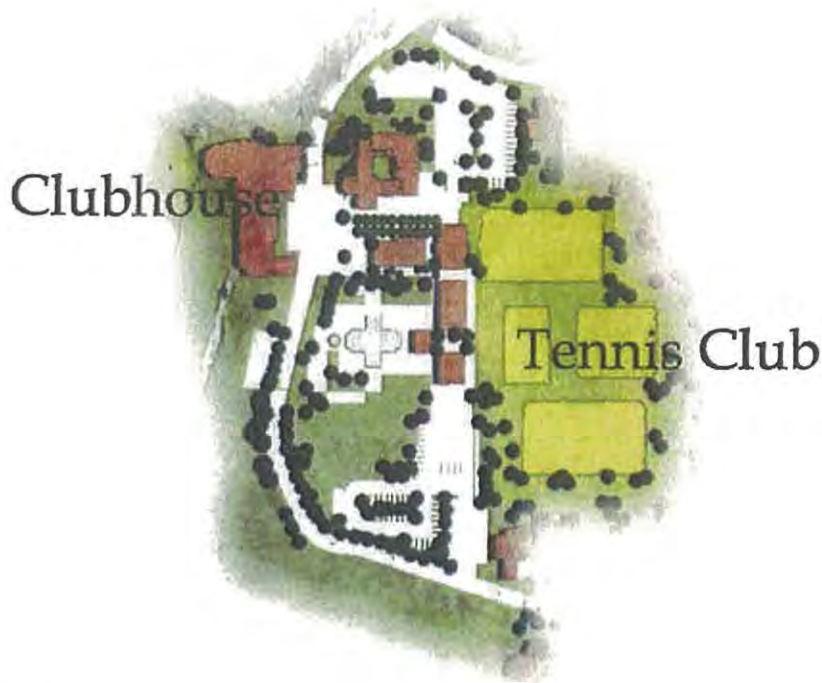
The diagram below delineates the limits of each Planning Area and their relationship to the amended Coral Mountain Plan boundary.



## Planning Area I

### Golf and Tennis Clubhouse Land Use

Planning Area I is the intended site for the Specific Plan 03-067 Club facilities and is located in the central portion of the easterly half of the master plan area. Primary access to the Club facilities is provided from the main project entry point from Madison Street through a secure entry gate. Planning area I is approximately 10 acres and is delineated herein.



**FIGURE 2**

Pedestrian and cart access throughout the plan is provided on surface streets and other open space paths to facilitate alternative modes of transportation to and from residential areas and other local offsite areas such as the Commercial element of the plan at the intersection of Madison and Avenue 58.

Club Facilities will include golf and tennis locker rooms, meeting rooms, indoor and outdoor, restaurants, lounge areas, kitchen and food preparation and support facilities, as well as five to ten tennis courts, swimming pool, sauna, and spa amenities.

## PLANNING AREA I

**TABLE I**  
**PLANNING AREA I – EXISTING LAND USE**

Existing Land Use Description – Vacant Flat Terrain

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	10		VACANT
<b>SUBTOTALS</b>		<b>10</b>		



**TABLE 2**  
**PLANNING AREA I – PROPOSED LAND USE**

Proposed Land Use Description – Club Amenities

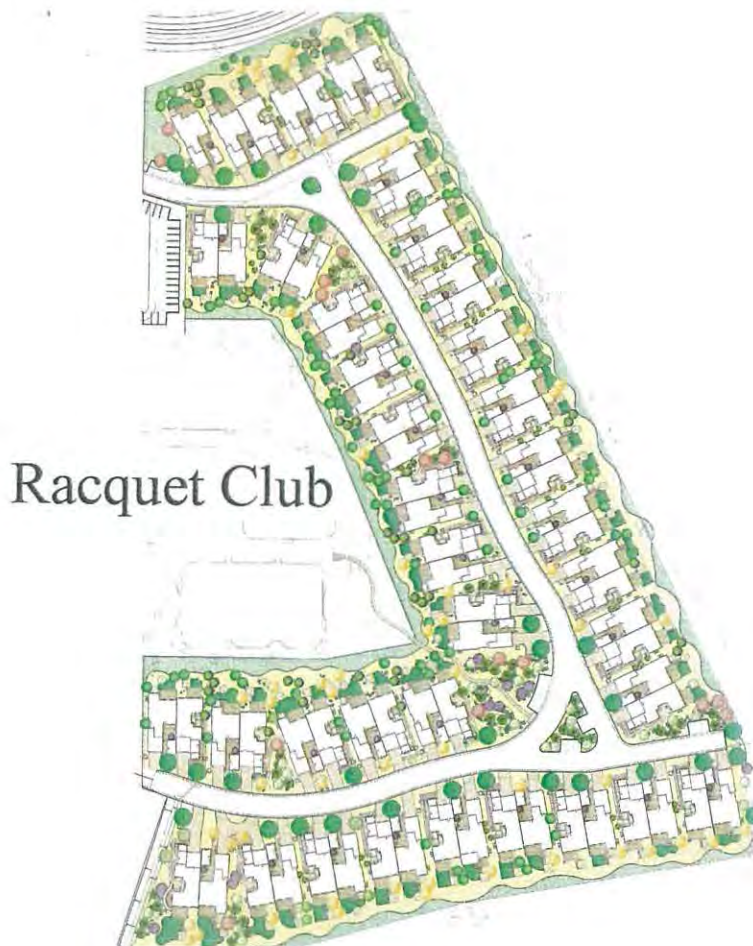
GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS
G	GC	10	
<b>SUBTOTALS</b>		<b>10</b>	



**Planning Area II**  
**Residential Land Use**

Planning Area II is adjacent to the club facilities site with internal access to residential facilities from the club access road. Residential uses configured as attached and detached single, duplex, triplex and fourplex units are planned for the land area within Planning Area II.

Unit count and distribution is described in the accompanying tables and graphics. Within Planning Area II there are 71 units---proposed on 16 acres of generally flat terrain. This mix of residential buildings and ancillary recreation amenities results in a net density of five dwelling units per acre.



## PLANNING AREA II

TABLE 3

### PLANNING AREA II – EXISTING LAND USE

Existing Land Use Description – Vacant Flat Terrain

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	16	--	--
<b>SUBTOTALS</b>		<b>163</b>		



TABLE 4

### PLANNING AREA II – PROPOSED LAND USE

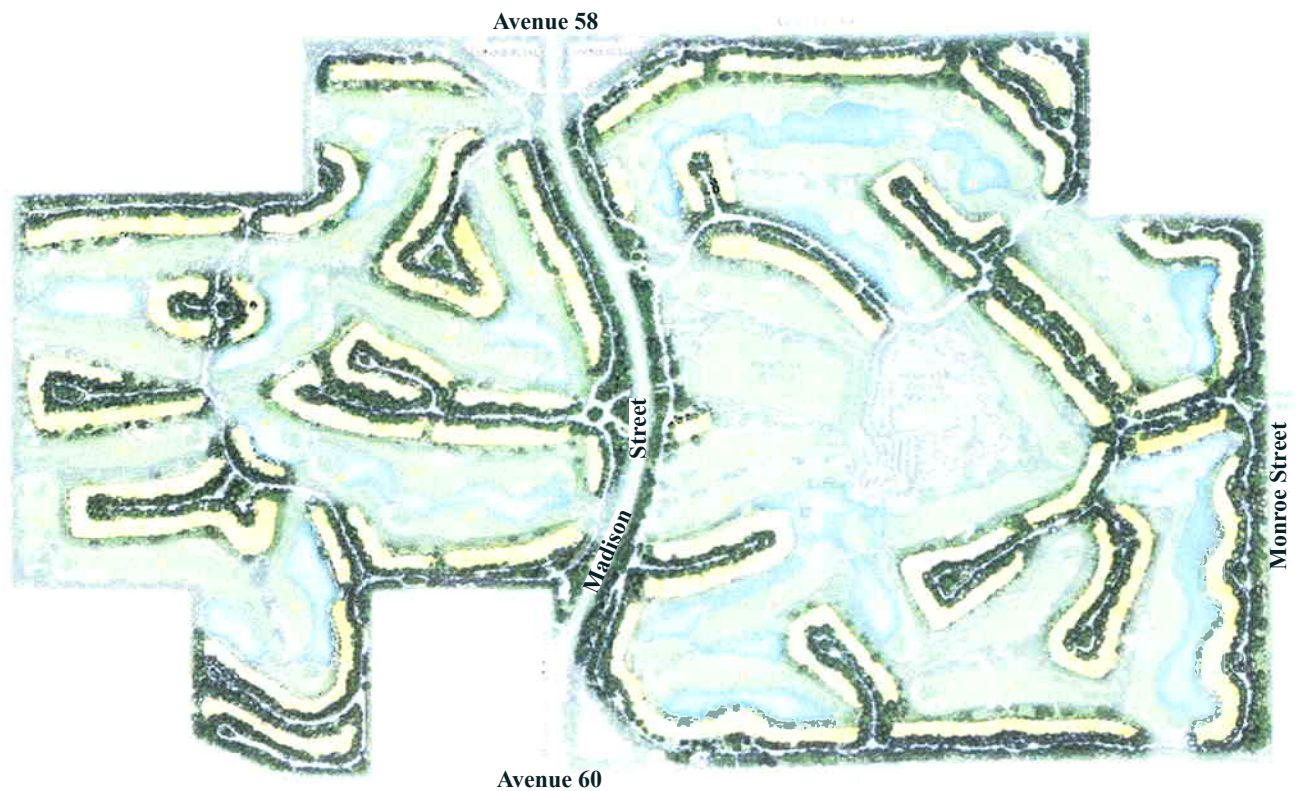
Residential Use

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	FAR
LDR	RL	16	80	--
<b>SUBTOTALS</b>		<b>16</b>	<b>80</b>	

**Planning Area III**  
**Residential Land Use**

Land use in Planning Area III is distributed generally within the entire project site with internal access to residential units provided from a main project loop road. Both attached and detached single family units are planned for the land area within Planning Area III.

Unit count and distribution is described in accompanying tables and graphics.



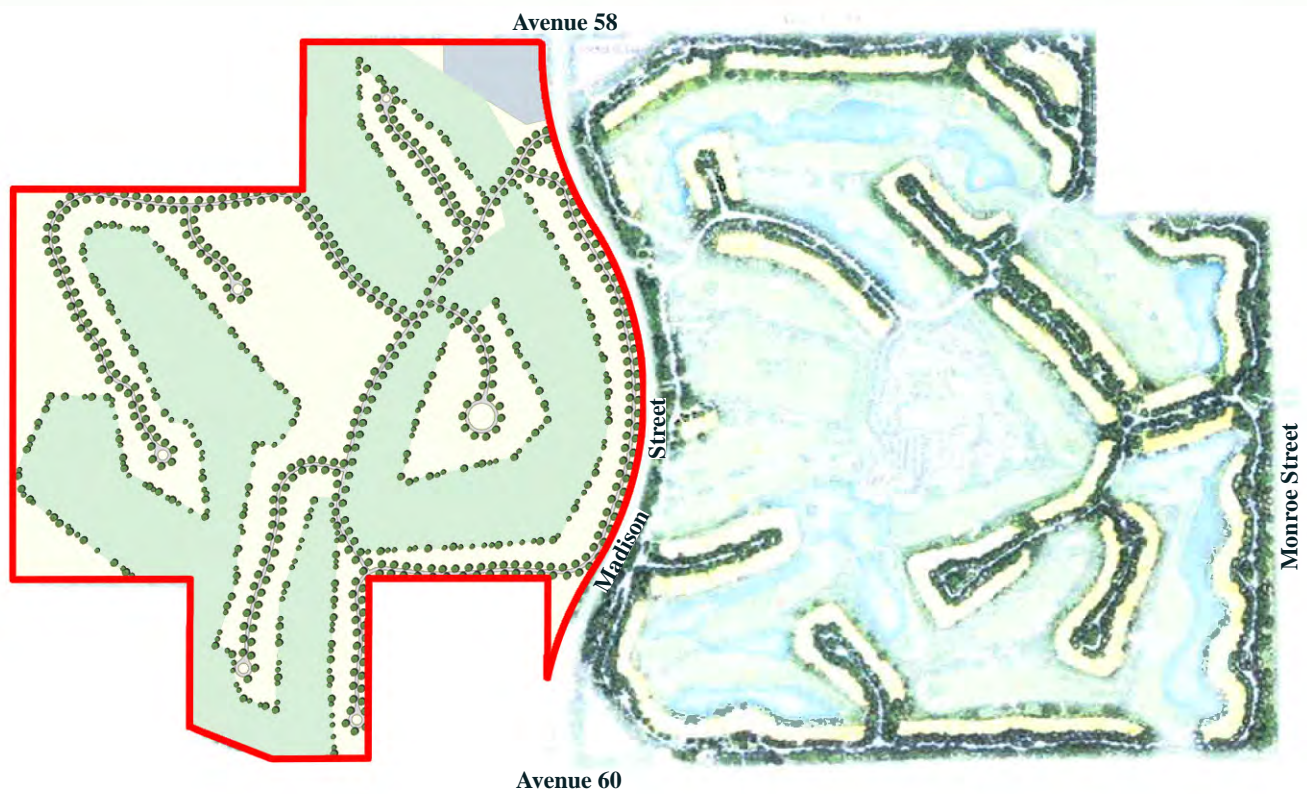
# PLANNING AREA III

**TABLE 5**

**PLANNING AREA III - EXISTING LAND USE**

Existing Land Use Description - Vacant Flat Terrain

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	477	-	-
<b>SUBTOTALS</b>		<b>477</b>	<b>-</b>	<b>-</b>



**TABLE 6**

**PLANNING AREA III - PROPOSED LAND USE**

Proposed Land Use Description - Residential Use

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	424.1	1320	3.1
<b>SUBTOTALS</b>		<b>424.1</b>	<b>1320</b>	<b>3.1</b>

## **Planning Area IV**

### **Golf and Open Space Maintenance Facilities**

Land use in Planning Area IV is located on 3 acres adjacent to the intersection of Madison Street and Avenue 60 on the northeast corner of the intersection. Access to the site is provided from Avenue 60 as well as from the internal plan.



A Site Development Permit shall be applied for prior to development of the Golf Maintenance Facility.

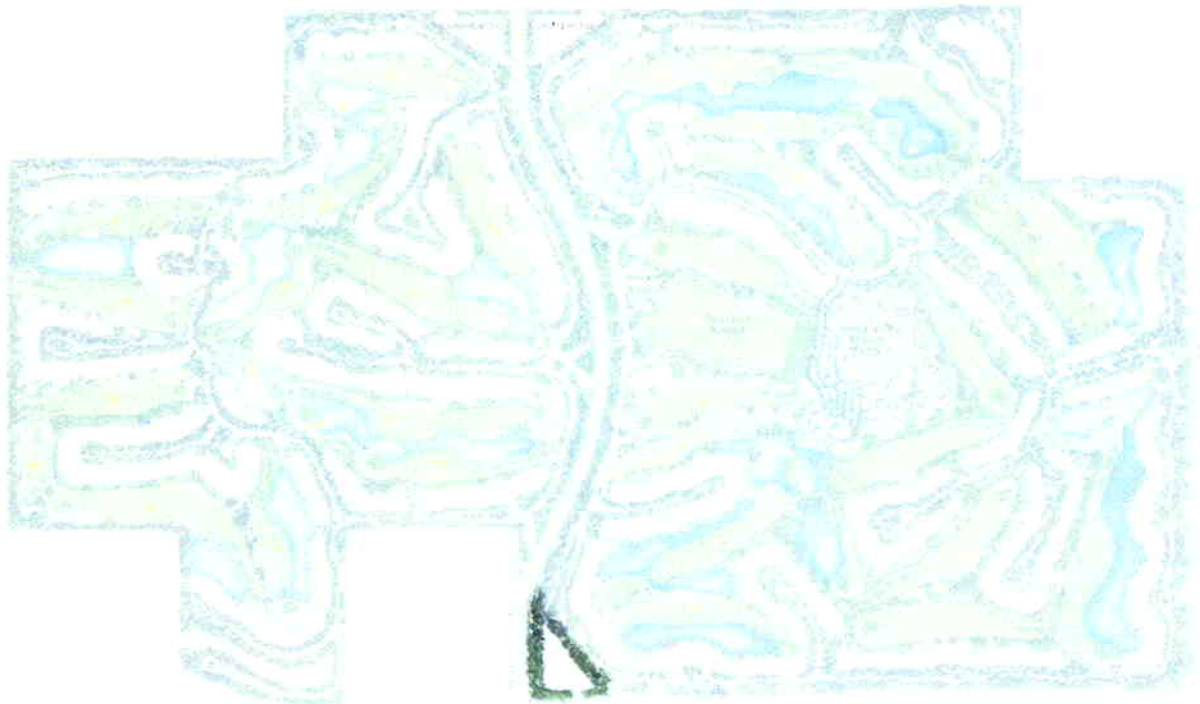
## PLANNING AREA IV

**TABLE 7**

### PLANNING AREA IV - EXISTING LAND USE

Existing Land Use Description - Vacant Flat Terrain

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	3		VACANT
<b>SUBTOTALS</b>		<b>3</b>		



**TABLE 8**

### PLANNING AREA IV - PROPOSED LAND USE

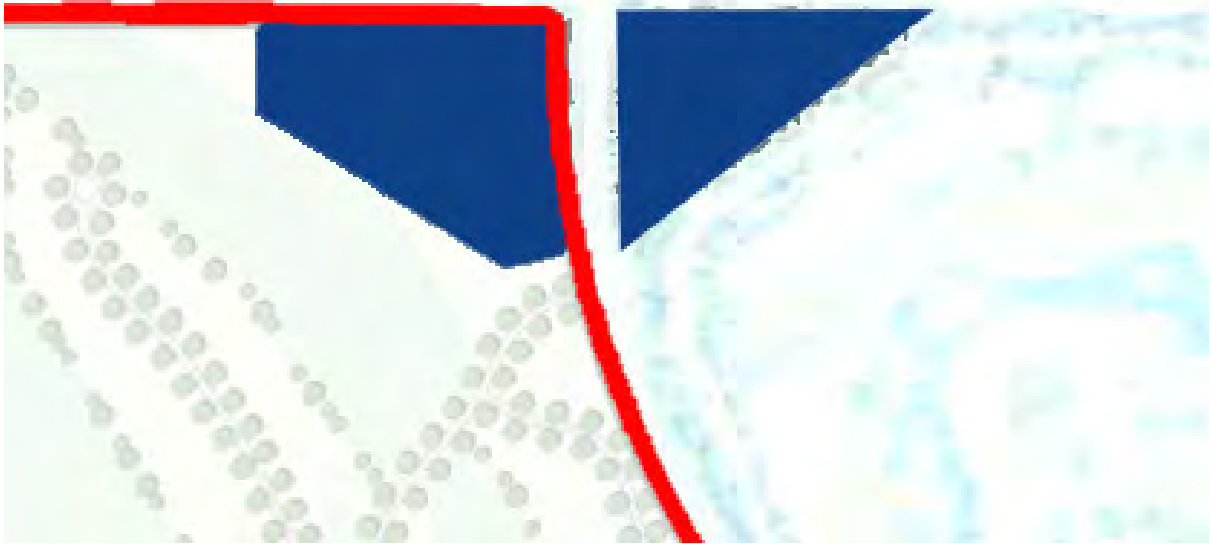
Proposed Land Use Description - Golf Maintenance Facilities

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS
G	GC	3	0
<b>SUBTOTALS</b>		<b>3</b>	<b>0</b>

## Planning Area V

### Neighborhood Commercial Land Use

Planning Area V is located at the intersection of Madison Street and Avenue 58, and is planned to be accessed from either arterial roadway adjacent to the two sites. Pedestrian and cart access from the internal area is also planned to facilitate alternative modes of transportation to and from the two sites.



Planning Area V has a total of **12.7** acres of Neighborhood Commercial development with access from either side of Madison street or the south side of Avenue 58. Acreage of the two adjacent commercial lots are not required to be precisely equal in square footage. Planning Area V encompasses **12.7** acres and is described in accompanying tables and graphics.

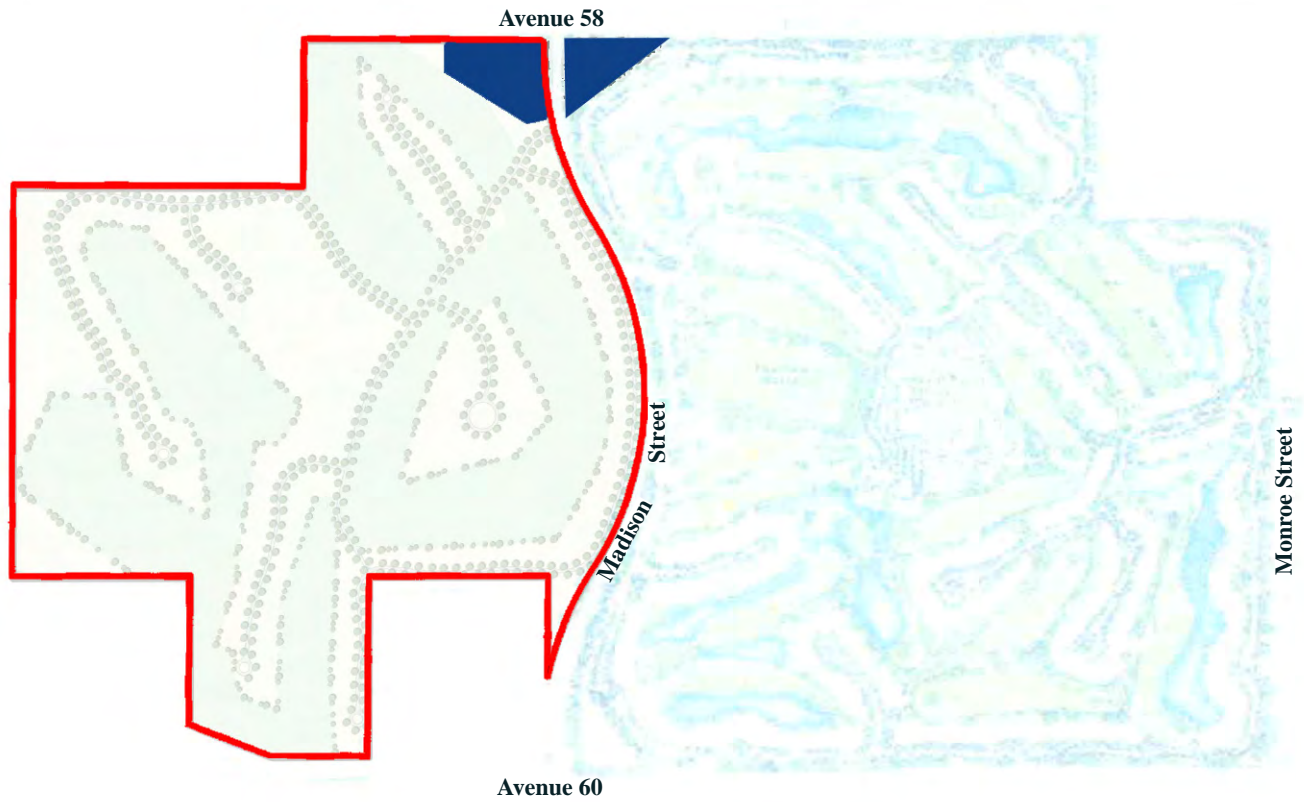
# PLANNING AREA V

**TABLE 9**

## PLANNING AREA V - EXISTING LAND USE

Existing Land Use Description - Vacant Flat Terrain

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	10		VACANT
<b>SUBTOTALS</b>		<b>10</b>		



**TABLE 10**

## PLANNING AREA V - PROPOSED LAND USE

Proposed Land Use Description - Neighborhood Serving Commercial

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS
NC	CN	12.7	0
<b>SUBTOTALS</b>		<b>12.7</b>	<b>0</b>



## Planning Area VI

### Residential (supporting) Land Use - Golf Course / Open Space

Planning Area VI is distributed generally throughout the Plan Area and represents the majority of the project site acreage. The two 18-hole championship golf courses will occupy approximately 477.3 acres, which is approximately 50% of the Specific Plan area. In addition to its function as a recreational facility, the golf course component will also provide a significant visual amenity within the Specific Plan area with the vast majority of residential units having frontage on and/or views of the golf courses. The conceptual layout for the golf courses is shown on the Master Plan Exhibit.



Distribution of this land use is described in accompanying tables and graphics. An Employee parking lot is sited in the northeast corner of the project adjacent to Avenue 58 allowing employee access to the site via internal circulation paths.

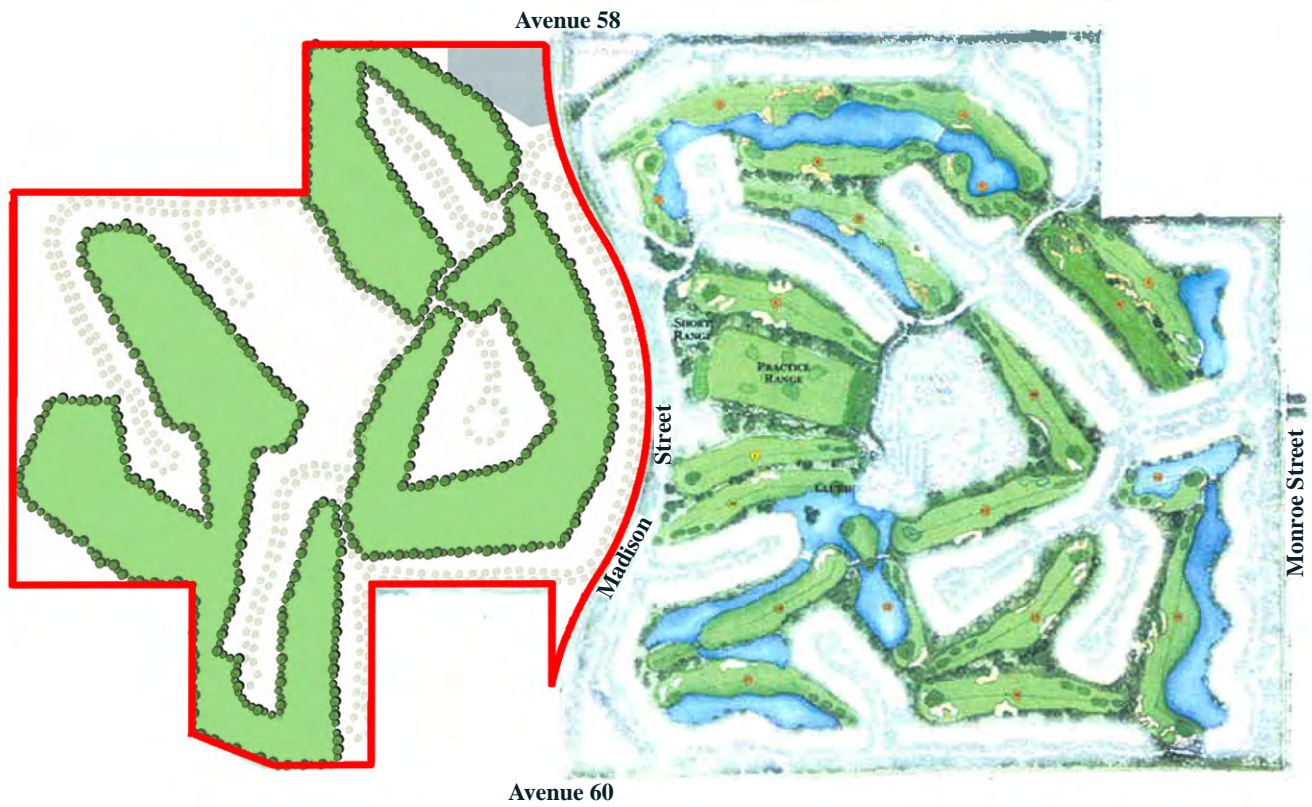
# PLANNING AREA VI

**TABLE 11**

**PLANNING AREA VI - EXISTING LAND USE**

Existing Land Use Description - Vacant Flat Terrain

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	DENSITY
LDR	RL	421	VACANT	
<b>SUBTOTALS</b>		<b>421</b>		



**TABLE 12**

**PLANNING AREA VI - PROPOSED LAND USE**

Proposed Land Use Description

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS
Golf Course - G	GC	468.2	0
<b>SUBTOTALS</b>		<b>468.2</b>	<b>0</b>

**SUMMARY TOTALS**

**TABLE 13**

**EXISTING LAND USE**

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	GROSS DENSITY
LDR	RL	934	1400	1.4 D.U.'s/AC
<b>SUBTOTALS</b>				



**TABLE 14**

**PROPOSED LAND USE**

GENERAL PLAN/LAND USE	ZONE	ACRES	UNITS	NET DENSITY
LDR (PA II, PA III)	RL	440.1	1400	3.2 D.U.'s/AC
NC (PA V)	CN	12.7	-	-
G (PA I, PA IV, and PA VI)	GC	481.2	-	-
<b>SUBTOTALS</b>		<b>934</b>	<b>1400</b>	<b>1.5 D.U.'s/AC</b>

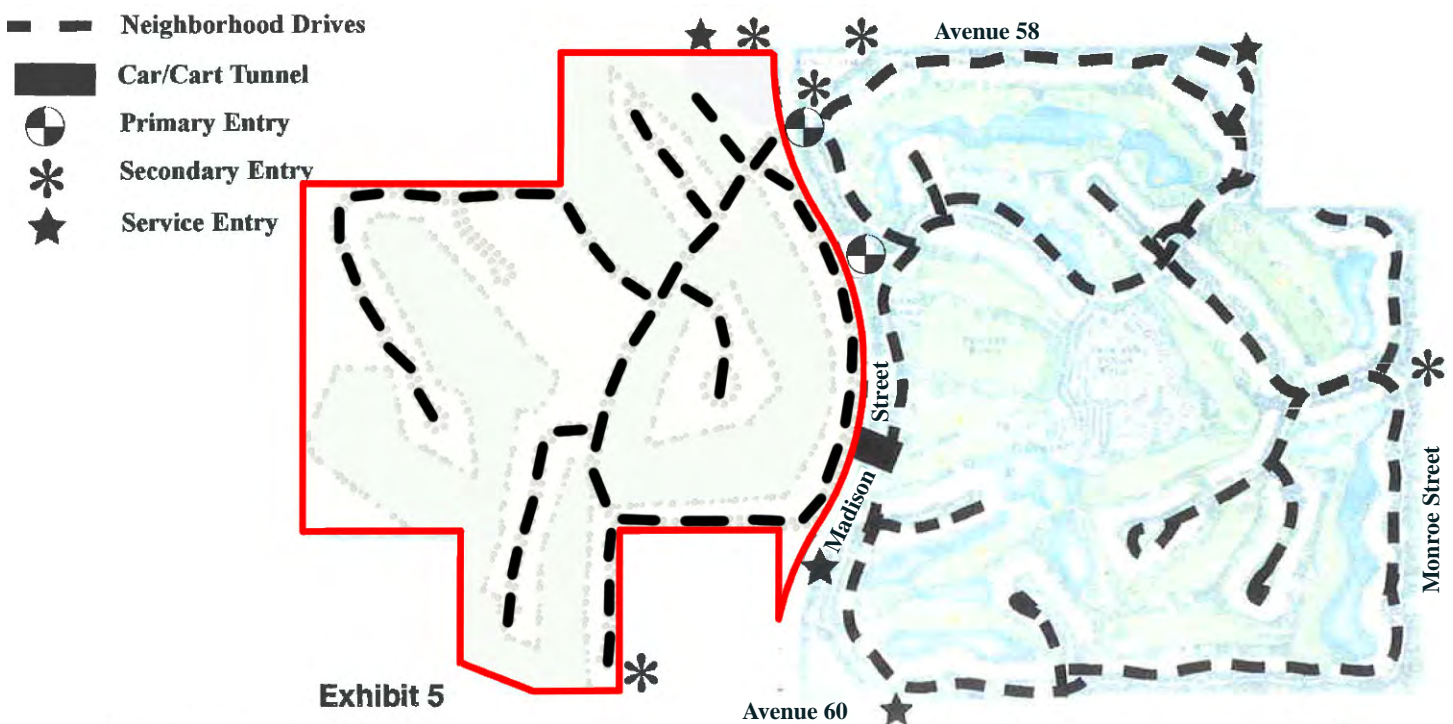
## 2.5 CIRCULATION PLAN

The proposed circulation system for the Specific Plan 03-067 addresses the requirements of the City of La Quinta General Plan Circulation Element by providing a hierarchy of vehicular traffic ways with pedestrian paths within the plan area. The Circulation Plan for the Specific Plan 03-067 utilizes existing circulation element roadways adjacent to and internal to the project area (Madison Street) to provide primary access to the Specific Plan area. These roadways include Avenue 60, Avenue 58, Avenue 62, Monroe Street and Madison Street.

The internal circulation system of the amended plan for Coral Mountain will consist of a series of loop roads providing access to the individual residential and recreational components within the Specific Plan area. Cul-de-sac neighborhood streets/drives will utilize the internal loop spines in assuring a “private neighborhood feel”. It is anticipated that the internal loop collector system will consist of private streets.

The proposed circulation plan for the Specific Plan 03-067 is illustrated below and will consist of improvement of roadways surrounding the Specific Plan area, including 58<sup>th</sup> Street to the north, 60<sup>th</sup> Street to the south and Monroe to the east. The Specific Plan area is bisected by Madison Street, which, pursuant to the standards set forth in Specific Plan 218 approved in Riverside County has been improved as a 110’ right of way. Similarly, 60<sup>th</sup> Street has been constructed as a ? street, including full median construction, as a 100’ right of way. Except for the tie-in to Madison Street, it is anticipated that both Monroe Street and 58<sup>th</sup> Street will be constructed in accordance with the City of La Quinta General Plan Circulation Element Standards in conjunction with the development of an internal loop road system to serve development within the project.

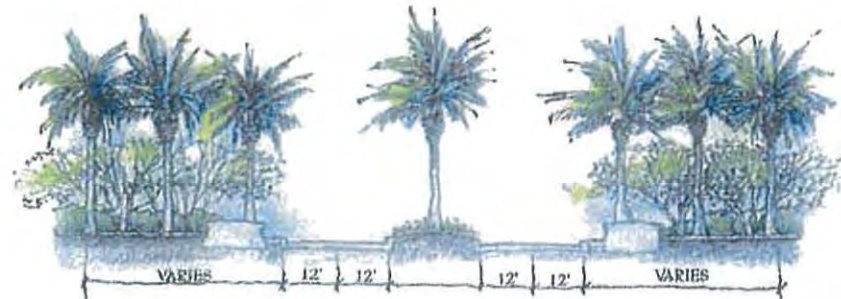
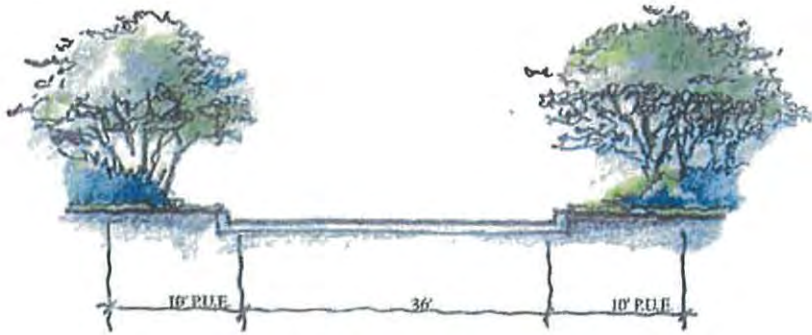
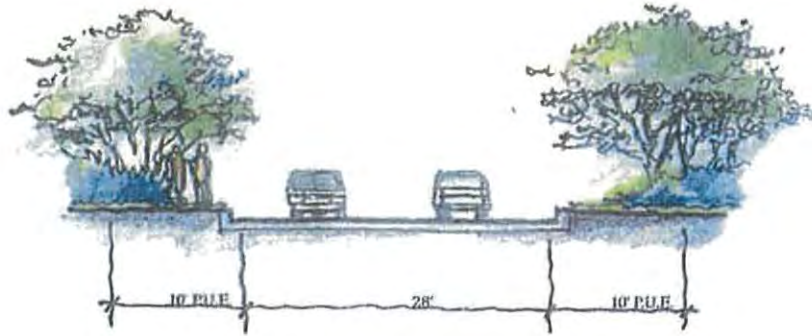
The proposed Circulation Plan for the Specific Plan 03-067 is illustrated below and will consist of improvement of the roadways surrounding the Specific Plan area to General Plan Circulation Element Standards and development of an internal loop road system to serve development within the project.



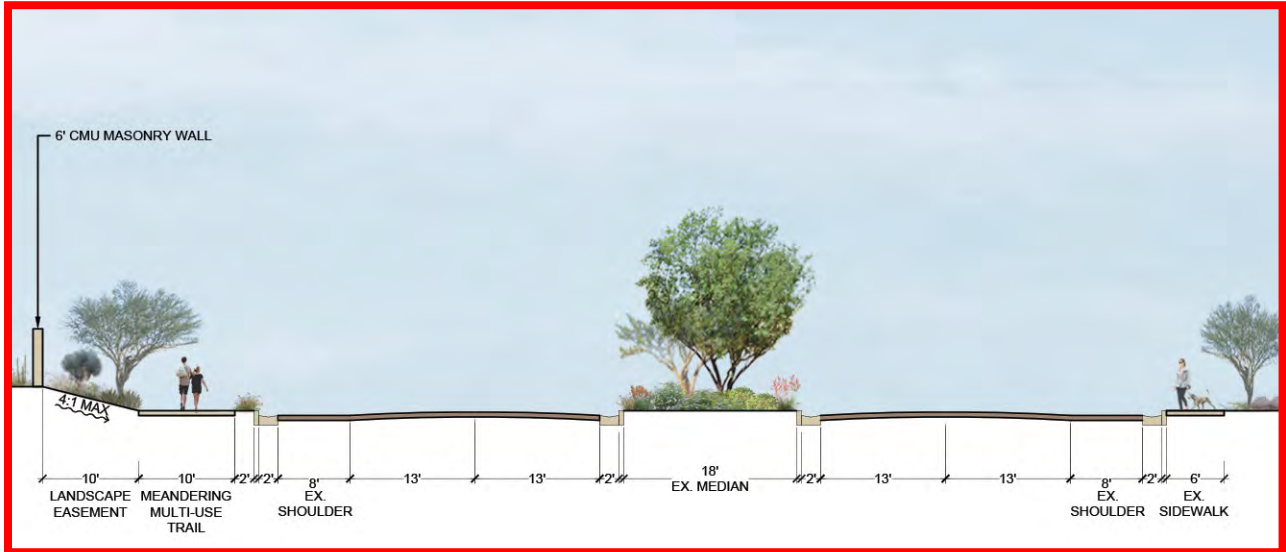
Individual cluster access drives are proposed with generous setbacks from the arrival boulevard and interior loop road to provide safe ingress and egress from individual residences.

Within the Specific Plan area, the circulation system has been designed to accomplish the following:

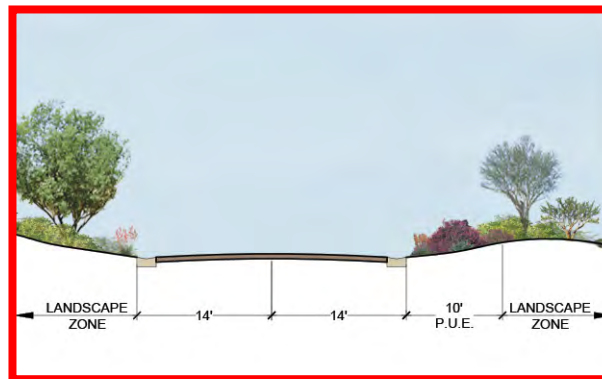
- Provide for internal private roadways that respond to the proposed development corridors while providing a safe route for project ingress and egress;
- Provide for a private street with access to Madison Street, and to facilitate the internal network of planned private roadways to adequately serve residential areas and other amenities.



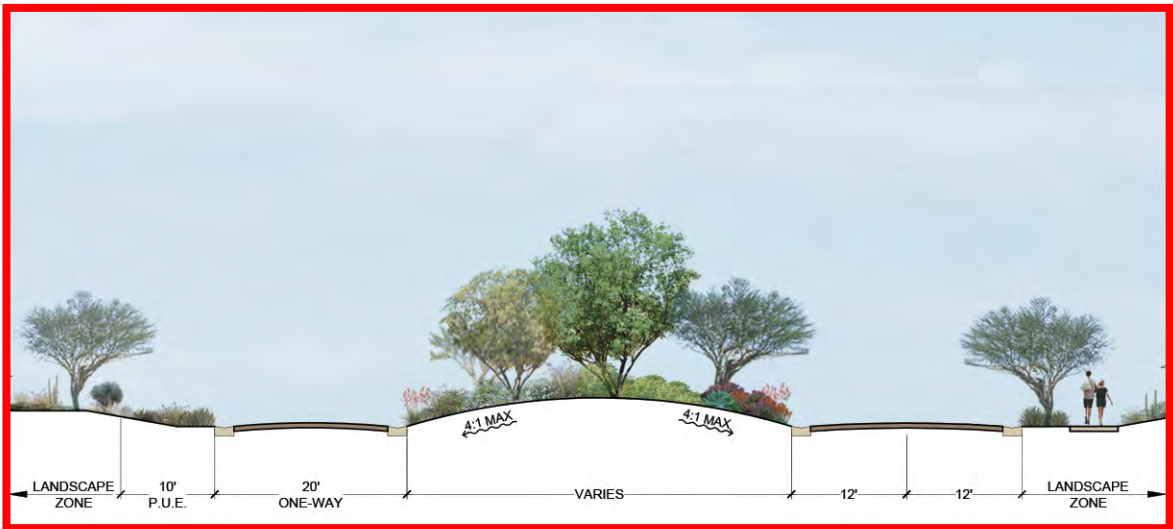
The following road sections on pages 2.24b and 2.24c shall only apply to the West Tract.



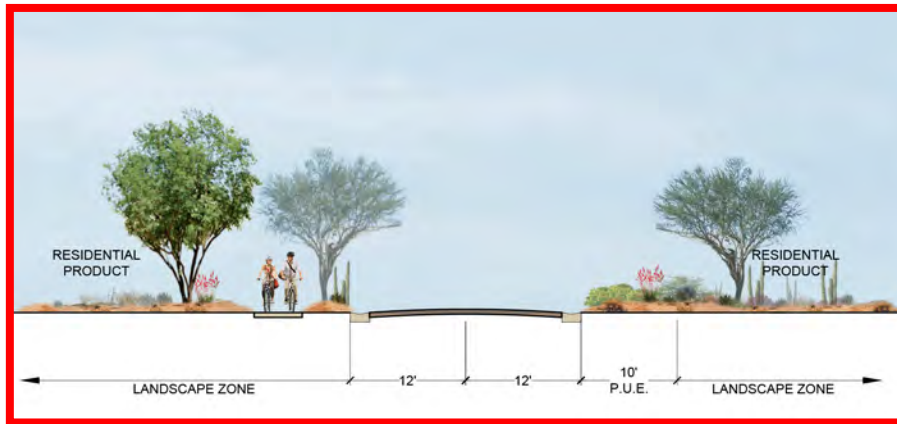
Madison Street



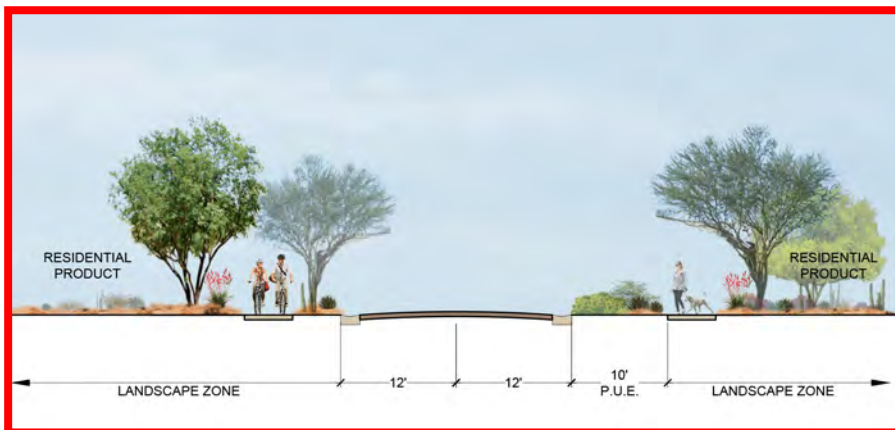
West Tract Entry Road



Divided Residential Access Road



Neighborhood Street A (Typical)



Neighborhood Street B (Typical)

### **2.5.1 Offsite Improvements**

- The offsite public streets surrounding the project are currently developed in accordance with La Quinta City Engineering and Public Works Department standards and will be constructed incrementally in accordance with the applicable General Plan designations. City-wide mass transit systems and stops are accessible along perimeter public thoroughfares. Perimeter landscape improvements shall be implemented along the project frontage.
- The offsite trails system is consistent with the La Quinta General Plan multipurpose and Bridal Trails plan to allow safe access to the trail head and staging area currently operational at the westerly terminus of Avenue 58 at Lake Cahuilla.

### **2.5.2 Onsite Improvements**

The following mitigation measures are recommended to reduce potential circulation impacts associated with the proposed project and shall be implemented in a phased manner in conjunction with adjacent planning area(s) requiring roadway improvements.

Bus stops will be provided on Avenue 58 in the vicinity of the project service entry and along Avenue 60 in the vicinity of the Maintenance Building employee entry.

- All internal divided roads will have a minimum pavement width of 20 feet (divided roads) per lane to accommodate minimum design criteria for fire equipment access. All other roads shall have a minimum pavement of 28 feet (internal streets and drives).
- Each subdivision shall comply with the on-site and off-site street improvement recommendations and mitigation measures as required by the City Engineer.
- All sections shall be approved by the City of La Quinta Transportation Department.
- All access points shall conform to appropriate street classification per City standards for access spacing.
- Commercial uses shall be per the General Plan. Neighborhood commercial uses must be located along secondary or greater highways, or near intersections with secondary highways.
- The offsite trails system is consistent with the La Quinta General Plan multipurpose and Bridal Trails plan to allow safe access to the trail head and staging area currently operational at the westerly terminus of Avenue 58 at Lake Cahuilla.



- Any landscaping within public road rights-of-way will require approval by the Community Development Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the City.
- No textured pavement accents will be allowed within City right-of-ways.

### **Image Corridor Standards for the Specific Plan Area**

Development adjacent to the City of La Quinta General Planned Image Corridors located on Monroe Street, Avenue 60, Madison Street and Avenue 58 shall be restricted to a height limitation of 22' from pad grade within a setback distance of 150' from the Right-of-Way. Rear and side yard setbacks for lots adjacent to the Image Corridors shall be expanded to a minimum of 25' per La Quinta Municipal Zoning Code Section 9.50.020.

## **2.6 MASTER PLAN SUPPORTING ELEMENTS**

### **Open Space, Recreation, and Infrastructure Plans and Concepts**

Within the Specific Plan 03-067, the Open Space, Recreation and Infrastructure Plan identifies and establishes the plan policy relative to the management of open space and recreation amenities within the plan area boundary as well as delineates infrastructure supporting the plan area. The purpose of this plan is to establish development policies and a philosophy which identifies resources and facility sites in the plan area, which shall be managed to prevent waste, destruction, or abuse of natural or man made amenities or resources.

#### **PROJECT SETTING**

The 934 acre project area is within the City of La Quinta, a 51 square mile municipality located in the southwestern portion of the Coachella Valley. The City, which was incorporated in 1982, is bounded on the west by the City of Indian Wells, on the east by the City of Indio and Riverside County, on the north by Riverside County, and Federal and County lands to the south.

The **fifth** amendment to the Specific Plan project site is generally defined by Avenue 58 along the Northerly boundary, Monroe Street to the East, Avenue 60 to the South, and to the West vacant land and portions of the flood control dike.

#### **2.6.1 Open Space and Recreation**

The Specific Plan 03-067 Master plan utilizes open space and recreation as a fundamental concept for the development. Extensive recreational amenities have been incorporated into the design of the project to serve future residents. The primary recreational component of the development will be the two 18-hole championship golf courses. In addition to its function as a recreational facility, the golf course component will also provide a visual amenity within the Specific Plan area with a significant number of residential units having frontage on and/or views of the golf courses. Individual developments within the Specific Plan area may have additional recreational amenities including tennis and swimming facilities to augment the recreation base of the community.

The conceptual layout for the golf courses and private club facilities are illustrated on the master plan graphic.

## **2.6.2 Infrastructure and Utilities Plan**

The infrastructure system planned to serve the Specific Plan 03-067 project described below will be designed to provide a coordinated system of infrastructure and public services to adequately serve the plan area at full buildout. Standards for infrastructure and public services relative to land use intensity envisioned for the plan area will be served by the following utilities:

- Sewer - Coachella Valley Water District (CVWD)
- Water - Coachella Valley Water District (CVWD)
- Electricity - Imperial Irrigation District (IID)
- Gas - Southern California Gas Company

## **2.6.3 Water and Sewer Plan**

The intent of the Specific Plan 03-067 is to utilize existing water and sewer facilities where possible, and to provide additional or upgraded facilities as necessary. Water and sewer service for the Specific Plan area is provided by the Coachella Valley Water District (CVWD). The CVWD provides domestic water from wells. Agricultural water used for irrigation is a surface water source. An underground irrigation distribution system providing water to the valley, traverses the western portion of the Specific Plan 03-067 property from the northwest to the southwest. The Specific Plan 03-067 will conform to the requirements of the CVWD's current and future programs and requirements pertaining to water management and conservation.

### **Sewer Service**

The Specific Plan area would be served by a series of standard sewer lines and laterals linking to existing 18" force mains located in Avenue 60 and Madison Street. Pumping facilities would be located as necessary within the Specific Plan area to transport sewage to the existing trunk lines. The CVWD has indicated its ability to provide sewer service to the Specific Plan area.

### **Domestic Water Service**

Domestic water would be distributed to individual residential units by standard water lines to be located within road rights-of-way. New water lines would need to be installed in conjunction with road improvements to serve the proposed Specific Plan 03-067 development. The developer will be required to construct domestic water lines, transmission mains and reservoir sites to accommodate the water demands for this project. CVWD will require a well site for each 70 acres of developed land. The location of such well sites will be subject to CVWD approval.

## **Irrigation Water**

The sources for irrigation water for the golf courses and other landscape features within the Specific Plan area will be provided by reclaimed or canal water. These waters will be stored in lakes and ponds located throughout the golf courses. The existing underground irrigation distribution system traversing the Specific Plan area is not anticipated to be disturbed in conjunction with Specific Plan implementation. The golf courses have been routed over this irrigation line to ensure that no residential units would be constructed on top of the underground line. Grading of the golf course will be coordinated with CVWD in relation to the alignment of the existing or relocated lines. CVWD reserves the right to review and approve any activity occurring within any existing irrigation right-of-way within the Specific Plan area.

### **2.6.4 Electricity**

All overhead public utility transmission lines for cable television, electricity and telephone are routed or currently scheduled for installation in the vicinity of the perimeter of the Specific Plan site. The developer will be required by IID to install to District standards. All permanent power and telecommunications distribution lines internal to the project, will be required to install those facilities underground per the District guidelines where possible.

### **2.6.5 Natural Gas**

All natural gas transmission facilities are routed or currently scheduled for installation in the vicinity of the perimeter of the Specific Plan site. The developer will be required by Southern California Gas Company (the Gas Company) to install to the Gas Company standards. All permanent distribution lines internal to the project will be installed per the District guidelines.

### **2.6.6 Telephone**

Land-based telephone services are provided by General Telephone Company in the project area and will extend lines to the site as needed. Local cellular service is provided for that area.

### **2.6.7 Refuse Collection**

Refuse collection within the City limits is provided by an entity franchised by the City of La Quinta and occurs in accordance with a schedule established by the franchisee and the City. It is envisioned that unit areas of the plan will be served by extension of the contract refuse collection services currently in place with the City. Prior to regularly scheduled pickup and removal, refuse will be contained in a maintained surface bin environment to ensure recycling of waste materials as appropriate and required .

### **2.6.8 School Service**

School service in the vicinity of the Specific Plan area is provided by the Coachella Valley Unified School District (CVUSD). It is not anticipated that significant numbers of students will be generated by the Specific Plan due to the anticipated family characteristics of potential purchasers of residential units. The applicant will contribute school fees in accordance with the requirements of the CVUSD.

### **2.6.9 Law Enforcement**

In general, police protection for the Specific Plan area will be provided by the County of Riverside Sheriffs Department. Police protection provided by the Sheriffs Department will be augmented by security facilities to be incorporated into the Specific Plan. In general, it is anticipated that the entire Specific Plan area will be a gate-guarded community with its own private security force. Primary and secondary entrances to these residential development areas will be protected by either a guard-gated entry or by card-gated entry. The presence of such security will reduce the dependence of the development on complete protection by the Riverside County Sheriffs Department and other City of La Quinta security personnel. In addition, it is anticipated that many of the residences within the Specific Plan area will have their own individual private security systems. This pattern has been typical of other similar developments by the developer.

### **2.6.10 Fire Protection**

Fire protection within the specific plan area will be provided by the Riverside County Fire Department. In conjunction with their PGA West development, the developer constructed a new fire station on the PGA West property at Madison Street and Avenue 54 (the "PGA Station"). It is anticipated that fire protection service to the specific plan area will be provided from the PGA Station. 542 acres of the 987 acre plan area was originally entitled for 2,198 developable units. Since originally approved, development of both the PGA West development and the Coral Mountain specific plan areas have experienced a significant reduction in overall project densities. As a result, the PGA Station should be more than sufficient to service the requirements of this plan area.

### **2.6.11 Library Facilities**

The City is served by a public library which is administered by the Riverside County Library System located within 6 miles of the project boundary.

## **2.7 ANDALUSIA (EAST TRACT) DESIGN GUIDELINES & STANDARDS**

This section provides design guidelines and standards that apply to the Coral Mountain Specific Plan area east of Madison Street. The general guidelines presented herein are an extension of Coral Mountain Specific Plan Amendment I Design Guidelines and in many cases paraphrase the prior approval document where applicable.

Many of the guidelines and standards, though applicable throughout the project, only apply in certain situations or in conjunction with certain uses and/or building types. Those guidelines that have no specific call-out or geographic reference point can be assumed to apply uniformly throughout the project site. It should be noted that these design guidelines and standards do not replace or reduce applicable subdivision requirements of the City of La Quinta and/or as modified by the adopted Coral Mountain Specific Plan Amendment I.

The following major topic areas are incorporated in this section: The Overall Community Themes, Commercial and Ancillary Buildings and Sites, Club Facilities, Residential Buildings, and Grading Guidelines and Standards.

### **Specific Plan 03-067 Community Theme**

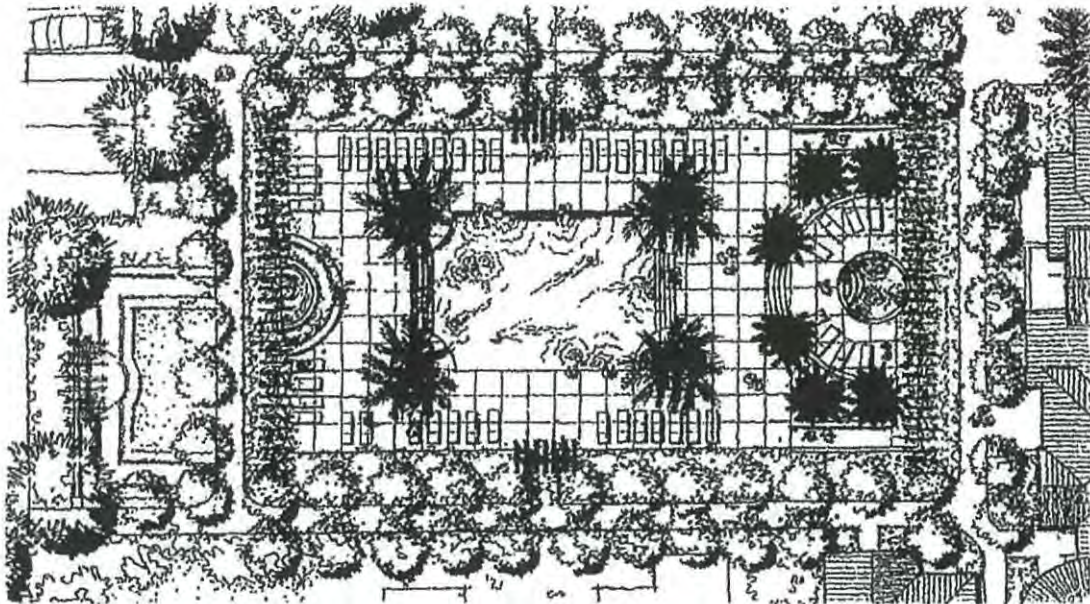
The Specific Plan 03-067 Master Plan will rely on the Rancho La Quinta project as a baseline for architectural and landscape architectural standards. These design guidelines will assist the developer of the Specific Plan 03-067 project to execute a built environment that incorporates the following main concepts:

- Develop a community that is visually attractive and captures the essence of the surroundings.
- Incorporate a variety of open space and recreational uses (active and passive).
- Design a planned community that complements existing development in the surrounding area and is compatible with the surrounding environment.
- Establish densities that are consistent with development patterns of surrounding areas.
- Recognize the unique nature of Coral Mountain as a community within a community that meets the living and recreational needs of future residents of the City of La Quinta.
- Develop high quality golf courses to create a strong community identity and long-term value.

The design guidelines contained in this subsection are intended to establish a consistent design approach among site planning, engineering, architecture, and landscape architectural components while allowing flexibility in design over the build-out of the community.

The design guidelines for Specific Plan 03-067 are intended to:

- Assist in implementing the design intent of the Specific Plan by establishing project design compatibility among different residential densities and land uses;
- Provide a consistent approach to site planning and the design of buildings, streets, signage, walls and fences, lighting, landscaping, and other design elements that will endure for the life of the community.

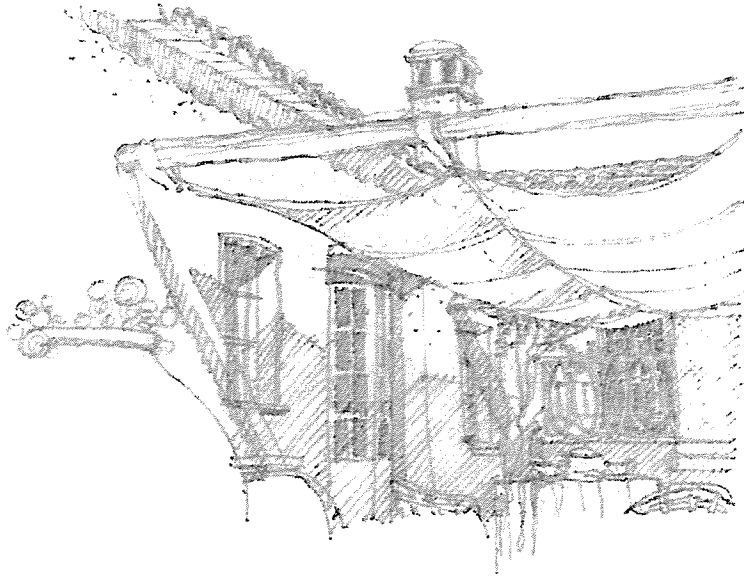


The guidelines provided herein suggest themes compatible with Spanish Colonial "character" but are not intended to limit expressions of varying architectural styles. The design guidelines presented herein establish the framework to achieve harmony and compatibility between residential neighborhoods while still providing flexibility that allows for a variety of architectural expression and interpretation. Examples of the design theme are illustrated throughout this document. These examples are meant to convey general design concepts and are not intended to limit the range of expression among individual builders and their professional design teams.

The guidelines are provided for the benefit of merchant builders, their planners/ designers, and City of La Quinta staff and decision-making bodies in the review of future Specific Plan 03-067 site development proposals. As such, the design guidelines identify elements for all residential and other land use proposals within the Specific Plan 03-067 area. These guidelines may be incorporated into subsequent site development permits, conditional use permits, and subdivision maps submitted to the City for approval unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under site-specific circumstances.

### 2.7.1 The Specific Plan 03-067 Community Image

The extensive open space element provided by the golf courses together with the proposed Specific Plan 03-067 landscape perimeter provides an image of privacy and lushness for the community. The master landscape plan makes structures on the interior of the project unobtrusive and at the same time, frames the views from these structures to surrounding greenbelts, the golf course and mountain vistas. The use of Date Palm, Citrus, and other desert tree species provide the main landscape framework for Specific Plan 03-067. A full list of recommended plant material is provided in the Recommended Plant Material Palette in Section 2.9.



### 2.7.2 Commercial Architectural and Site Guidelines

The Commercial architectural theme for Specific Plan 03-067 may include Spanish, Tuscan, Andalusian and other compatible "desert architecture" styles.

#### Color in Commercial Architecture

The existing Coral Mountain architectural theme is based on whitewashed stucco over adobe bricks using an earth tone color palette. This color motif is completed with a simplistic color schemes, a variety of roof tones and textures, and complementary window moldings and architectural detailing.

- The predominant color of all structures shall be limited to the spectrum of white, cream, tan, sand, light brown, mauve and similar earth tones. Colors outside of this spectrum shall be, limited to single accent elements. In order to achieve the variety of architectural expression envisioned for the residential components of the Specific Plan 03-067 project, a variety of materials and colors shall be used to create a rich tapestry of design elements.



- A range of muted color tones shall be used throughout the development within Specific Plan 03-067.

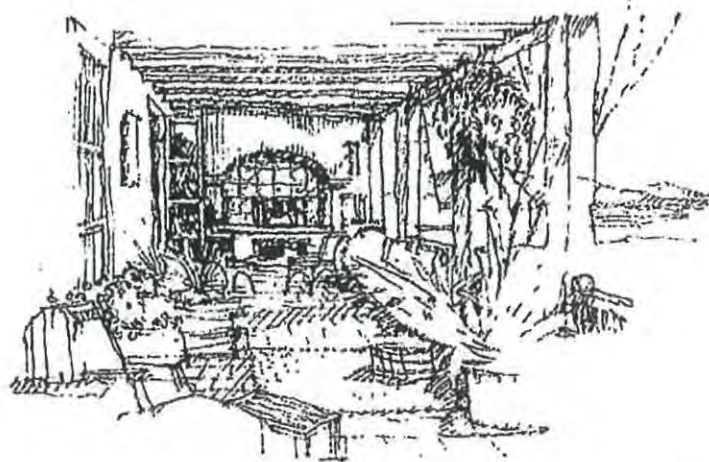
#### **Materials in Commercial Architecture**

Roof materials shall include clay barrel tile, flat concrete tile, and concrete shakes. The color of roofs shall provide a range of deep earth tones. The color of roof materials shall be varied to reflect the existing surrounding architectural theme. All roofing material shall be fire retardant.

- The predominant exterior building material shall be smooth finish stucco in keeping with the Specific Plan 03-067 architectural vernacular.

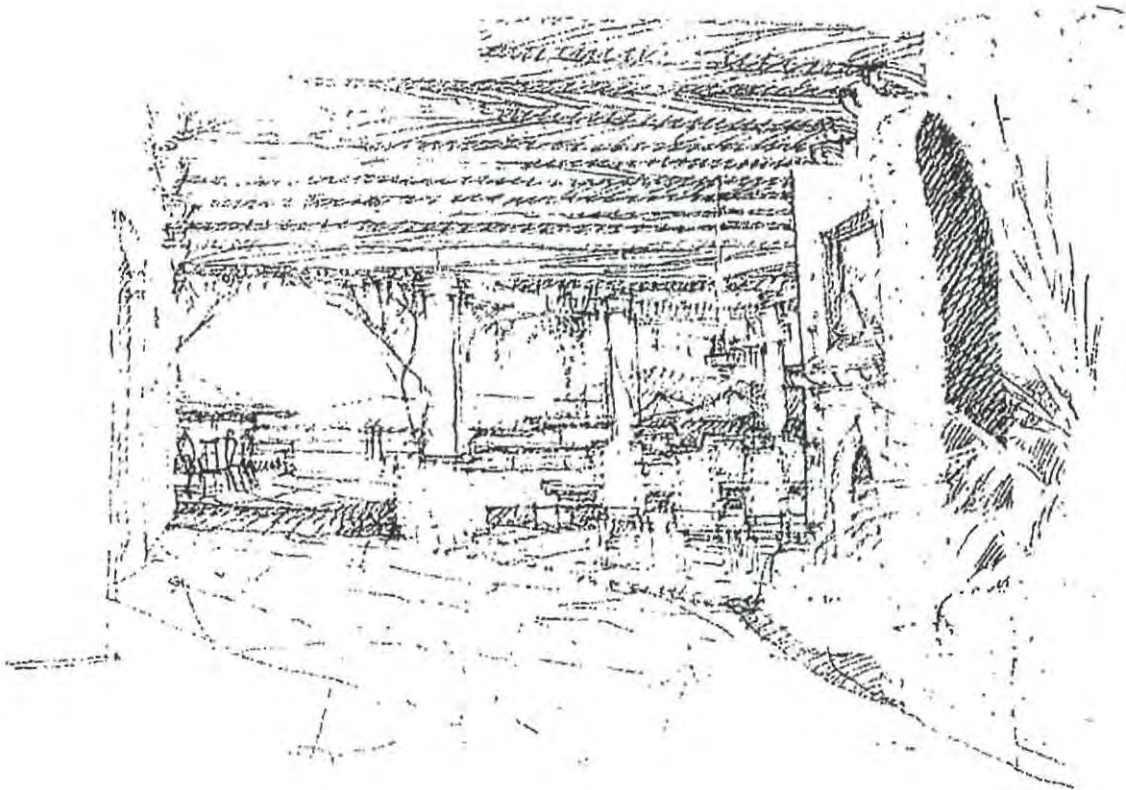


- Wood, tile and wrought iron shall be appropriately incorporated as accent materials and be consistent with the architectural style.



### **Commercial Area Site Planning**

Appropriate site planning guidelines as discussed below shall be used to ensure functional and aesthetic development within Specific Plan 03-067's Neighborhood Commercial center. The guidelines are intended to be flexible and not all guidelines are applicable in all situations. Reasonable application of guidelines in order to achieve a high quality consistency in design theme within the adjacent architectural context will be necessary.

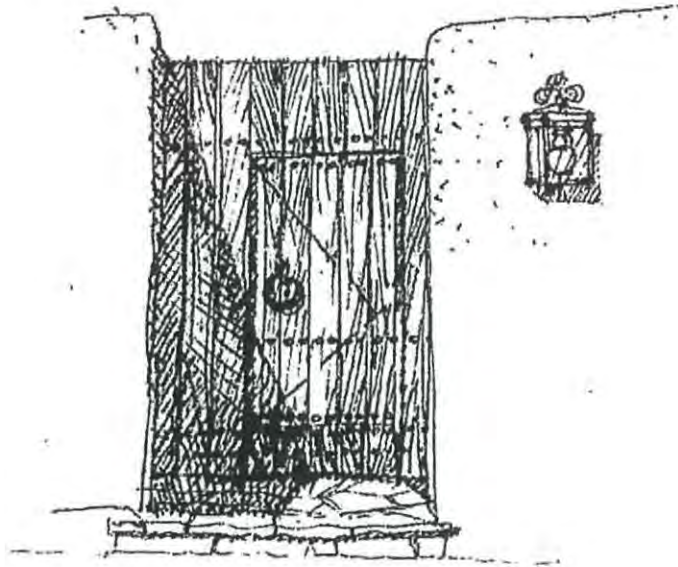


- Site planning parameters shall conform to the criteria set fourth.
- Flexibility in interpretation is to be implemented in site design to achieve individual expression.

### **Building Massing and Scale in Commercial Architecture**

The character of the commercial development areas shall reflect a neighborhood scale so that building massing does not overwhelm the street scene. The site shall be, wherever possible, low-rise in nature to create a pleasant pedestrian scale environment.

- Building wall planes, particularly on the front elevation, shall be offset to create interest along the street, to provide a desirable pedestrian scale, and avoid visual monotony.
- Single-story plate lines are encouraged on the front elevation. Second-story wall planes shall be offset to effectively break up the building mass and reduce the perceived building scale as viewed from the street.



- Single-story plate lines with second-story wall setbacks are encouraged on side and rear elevations.
- Side elevations shall provide the same level of articulation and detail as the front elevations
- Articulated roofscapes shall be created through the use of a variety of roof forms.
- Repetitious gable ends along front and rear elevations shall be minimized.

### **2.7.3 The Specific Plan 03-067 Golf and Country Club Facilities**

A Clubhouse complex at the center of the Specific Plan 03-067 master plan will function as the social center and focal point of the community. This complex is comprised of:

- A clubhouse providing dining, lounge and social activity facilities club, and sport facility pro shops, locker rooms, lounges and golf cart storage for its championship golf courses and supporting circulation facilities for operations of those facilities.
- Circulation facilities for golf and clubhouse operations
- A Swim and Tennis Club featuring a pro shop, locker rooms and a restaurant/lounge area is envisioned for Specific Plan 03-067. The Swim and Tennis Club is sited within a garden setting overlooking the courts, pools, and spas.
- A Spa of approximately 6,000 SF containing several treatment rooms, a steam room, a salon, and retail is envisioned for Specific Plan 03-067.



#### **Club Facility Site Planning Guidelines**

The site design and planning of the Specific Plan 03-067 club facility areas such as the Golf and Tennis Club will incorporate elements that respond to the desert climate in the same manner as the residential components of the plan. Elements include generous patios, spacious courtyards, arcades, plazas, and paseos. Other planning guidelines for commercial, golf and country club facilities are listed below.



- Main buildings shall be, wherever possible, sited in landmark locations and be easily accessible and convenient.
- Service areas shall be, wherever possible, sited in low-visibility areas and effectively screened by utilizing building elements and/or landscaping.
- Pedestrian access routes between adjacent uses shall be, wherever possible, incorporated into the site design.
- Pedestrian spaces shall be, wherever possible, provided by creating plazas, courtyards, and promenades that link use areas.
- Parking shall be, wherever possible, oriented to permit pedestrian flow to club facilities.
- Pedestrian courts are encouraged, especially to accent open area access points or primary vehicular entries and drop-offs.



2.38

- The use of landscape areas and green space to separate customer traffic from commercial and service traffic is encouraged.
- Shared use of service areas, parking, access, etc., shall be integrated into the design wherever possible.



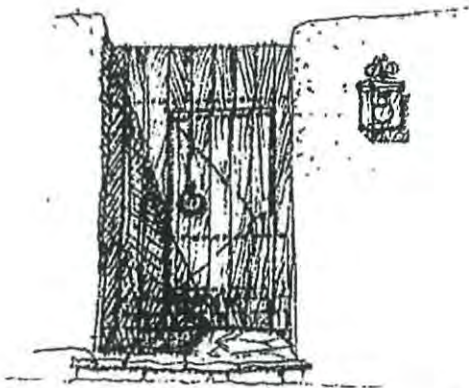
Specific Plan 03-067

- Roof equipment shall be architecturally screened where feasible.
- Pedestrian access to adjacent uses shall be provided where feasible.

## Club Facility Design Criteria

### Wall Planes, Windows, and Doors

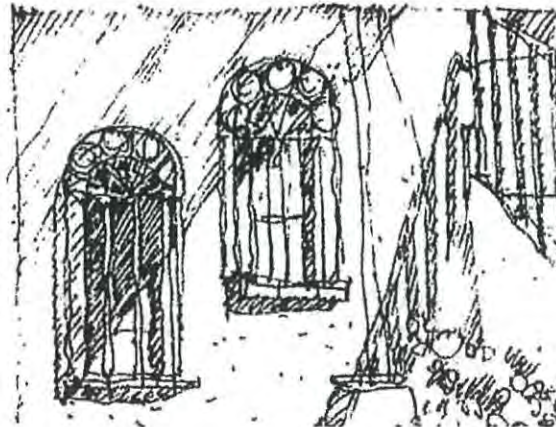
- The use of wood frame windows scaled to the interior space is encouraged. Frames shall be, wherever possible, painted or appropriately colored to match the club facility.



- The use of wood trim is encouraged on all elevations visible from a private or quasi-public spaces. Trim shall be compatible with the building's architecture and color.
- The style of windows shall be compatible with the architectural style of the building. The use of many different window styles and or shapes on one building plane shall be avoided. The size and proportion of panes shall be in scale to the overall wall plane.
- Accent windows that have a different or articulated shape or utilize multi-panes shall be used to create interest on building elevations as long as they are consistent with the style of the building.

### Entries

- The club entry shall be a focal point of the building's front elevation through the appropriate use of massing, building offsets, varied roof elements, columns, porticos, recesses or projections, accent windows or other architectural features.



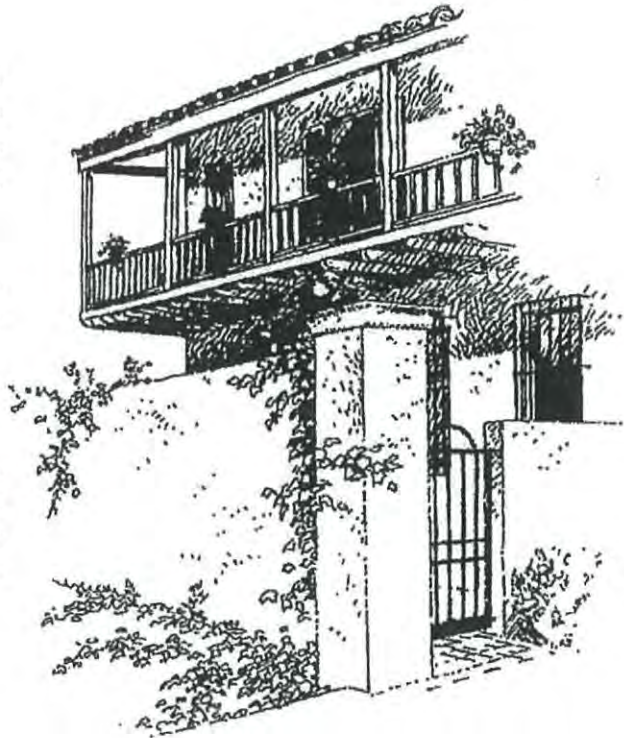


### **Porches, Balconies, and Railings**

- Porches shall be incorporated to the greatest extent possible.
- Porches and balconies function as an extension of interior spaces to provide visual interest, shadow, texture and shade.
- Second story balconies are encouraged to provide visual interest.
- Porches and balconies shall be designed as an integral component of the building's architecture and style, and shall not appear as a poorly conceived add-on element.
- The design of porch and balcony railings shall complement the building's architecture and style.

### **Columns**

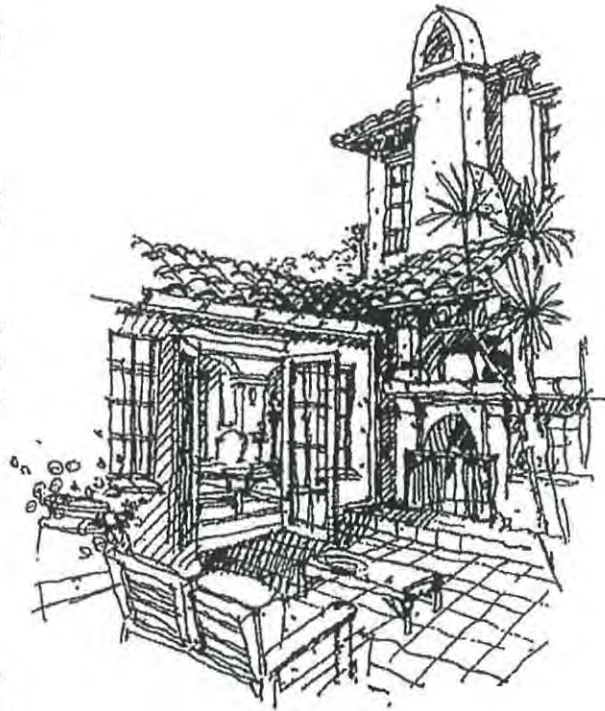
- Columns used as a structural or aesthetic design element shall convey a solid and durable image, and shall be consistent with the architectural style of the club facility building.



- Columns may be used as free-standing form, or as supports for roofs and balconies.

### Chimneys

- Chimneys, particularly chimney caps, shall be simple in design, so as not to distract from the building.
- The design of chimneys shall be compatible with the architectural style of the building. Exposed metal flues are not permitted.



### Exterior Stairs

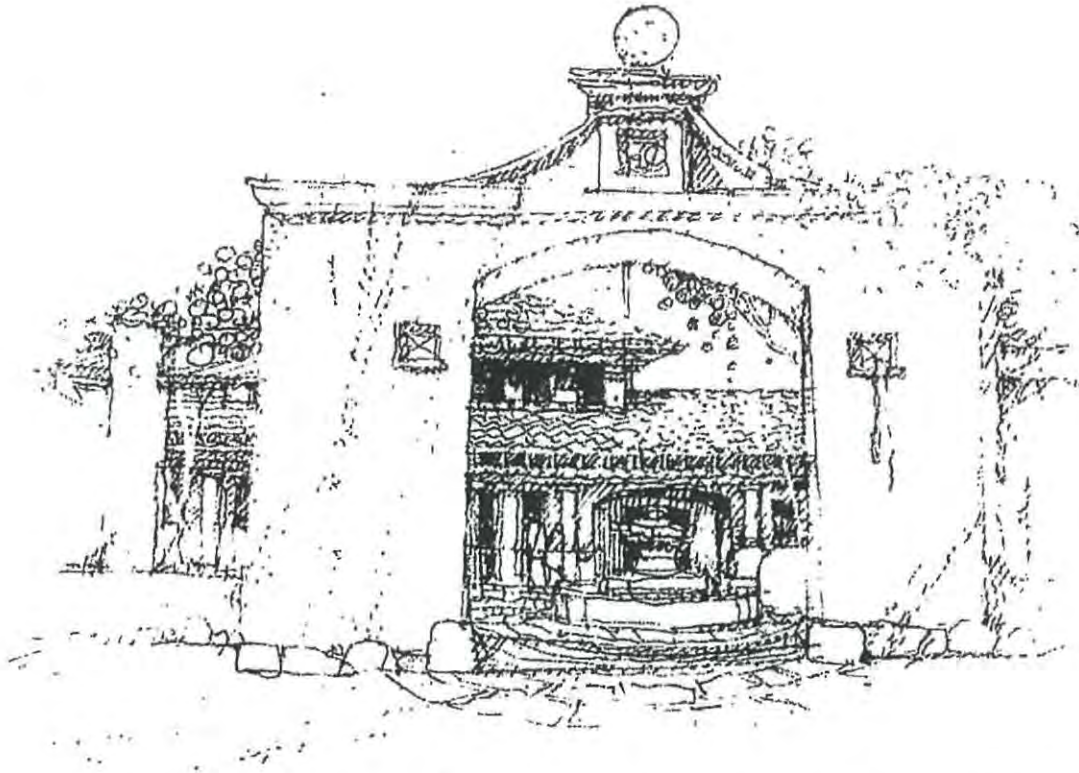
- Exterior stairways shall be simple bold elements which complement the architectural massing and form of the building.



### Archways

- The use of archways shall be compatible with the architectural style of the building, and designed as a complementary component of the building or adjacent courtyard.





- When used, archways shall define or enframe space, such as entries, porticos, patios, courtyards, and parking elements.

#### **Walls and Fences**

- Walls and fences which are visible from streets, open space, or other private or quasi-public areas, shall be compatible in material, color, and design with adjacent and/or existing architectural elements.

#### **Building Details**

- All mechanical equipment shall be screened from view by walls or fences that are compatible with the building architecture, or by adequately sized plant material.
- All utility meters are to be integrated into the architecture and screened from view.
- The materials, colors, and forms of garage structures shall be consistent with the architectural style of the club facility neighborhood in which they are located.
- Building designs that incorporate trellises and other shade structures are encouraged.
- Accessory structures shall be designed to be consistent with the architecture of the adjacent club facility buildings.

## Club Facility Site Planning Criteria

Club facility areas are to maintain a pedestrian friendly environment through the use of appropriately proportioned architectural and landscape elements. Street furnishings that add to the festive and pedestrian atmosphere surrounding the club shall be encouraged.



- Group functions and uses are encouraged at plaza spaces and recreation amenities to promote a lively pedestrian environment.
- Arcades provide a pedestrian scale to buildings and pleasant shade cover, particularly when used on south and west facades.
- Special areas such as paseos, plazas, and courtyards shall be created to further enhance the pedestrian environment.
- Lighting fixtures shall be small in scale and consistent with the character and use of exterior areas.
- Appropriately spaced benches and seating areas are to be provided for pedestrian comfort.
- Flags or banners shall be made of durable cloth material and flown from vertical free-standing poles or incorporated into the design of street lighting and building architecture through the use of cantilevered poles.

### Club Facility Parking

Parking (on-street and off-street) shall be designed to minimize the visual impact of parking areas.

- Off-street surface parking shall be screened from view through the use of plant material or low walls that are consistent with the architectural style.



- Landscape treatments shall be used at surface parking areas to provide shade and minimize the visibility of parking areas.
- Parking areas shall provide clearly defined pedestrian circulation.
- Trash enclosures, loading docks, rubbish bins, transformers, satellite antennas, processing equipment, and any other unsightly apparatuses must be screened from view through the use of landscape or architectural elements that are compatible with the building architecture in material, color and design.

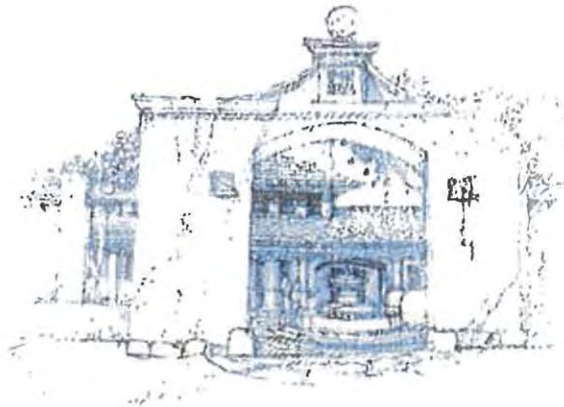
**Club Facility Massing and Scale**

Offset wall planes shall be used as an integral part of the building design to provide visual articulation.

- Building offsets shall be used to indicate building entries and pedestrian nodes.
- Offset or angled building corners shall be used to provide subtle articulation.

The Clubhouse building massing shall consist of a mix of building heights along with the use of focal vertical elements.

- Projections, overhangs and recesses shall be used to provide shadow, articulation, and scale to building elevations.



- Stepping back of building elevations is encouraged to provide second story terraces and visual articulation.
- The club facility areas shall create a distinctive roofscape theme by utilizing a variety of roof forms.
- Building design shall incorporate elements that respond to the desert climate of La Quinta through the use of courtyards, paseos, arcades and extended roof overhangs.

**Materials and Colors at the Club Facility**

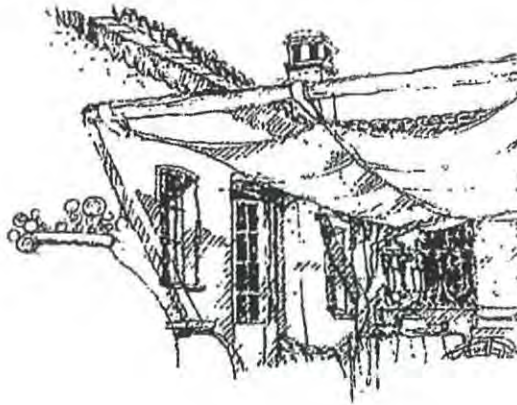
A range of muted color tones shall be used throughout the club facility areas at Specific Plan 03-067.



- The extensive use of bright vibrant colors is discouraged except on limited accent and/or focal elements.
- The color of roofs should provide a range of tones compatible with regional Spanish traditions. All roofing material shall be fire retardant.

#### 2.7.4 Residential Site Planning Guidelines

The climate in La Quinta is characterized by sunny and hot weather in the summer and relatively mild winters that feature excellent air clarity. The design of residences shall incorporate elements which respond to these conditions, such as patios, courtyards, arcades, plazas, and passageways. In addition, extended roof overhangs shall be used to provide shade. Other residential site considerations include the following:



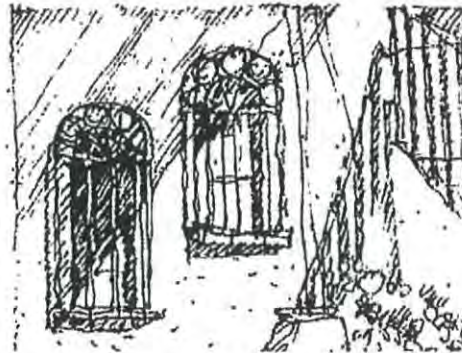
- The placement of structures should consider prevalent environmental conditions including sun orientation, prevailing winds and desired views.
- Orientation of residential development edges should maximize view potential and access to natural open areas and recreation areas. Open space “fingers” should extend into residential areas where possible.
- Varying house configurations on corner lots is encouraged to promote variety in the street scene and preserve sightlines of drivers at intersections.
- A combination of side-entering and front-entering garages and varied driveway locations are encouraged to breakup repetitive curb cuts and yard patterns.
- Cul-de-sacs are encouraged to improve neighborhood safety and character.

- Guest parking shall be, wherever possible, located to provide easy access to units.
- Four-way intersections within individual neighborhoods are discouraged.
- Neighborhoods bordering open areas shall be, wherever possible, sited to maximize views of the Specific Plan 03-067 course amenities, while discouraging through access.
- Recreation areas/greenbelt features shall be, wherever possible, visible upon entry to neighborhoods to enhance neighborhood value.
- Individual multi-family buildings shall be, wherever possible, separated sufficiently to provide a green space image and accommodate walks and other circulation elements.

### **A. Residential Architectural Design Criteria**

#### **Wall Planes, Windows, and Doors**

- The use of desert heat withstanding windows is encouraged. If aluminum or vinyl frame windows are used, the frames must be painted or appropriately colored to complement the building and/or trim material.



- The use of multipane windows is encouraged for front elevations which are visible from other private or quasi-public spaces. Trim may be painted to complement the building architecture and color.
- The style of windows shall be compatible with the architectural style of the building. The use of many different styles of windows on one building plane shall be avoided. The size and proportion of panes shall correspond to the overall proportioning of the elevation.
- Accent windows that have a different or articulated shape or utilize multi-panes shall be used as an accent element to create interest on building elevations. Windows are to be consistent with the regional Spanish style.

#### Entries

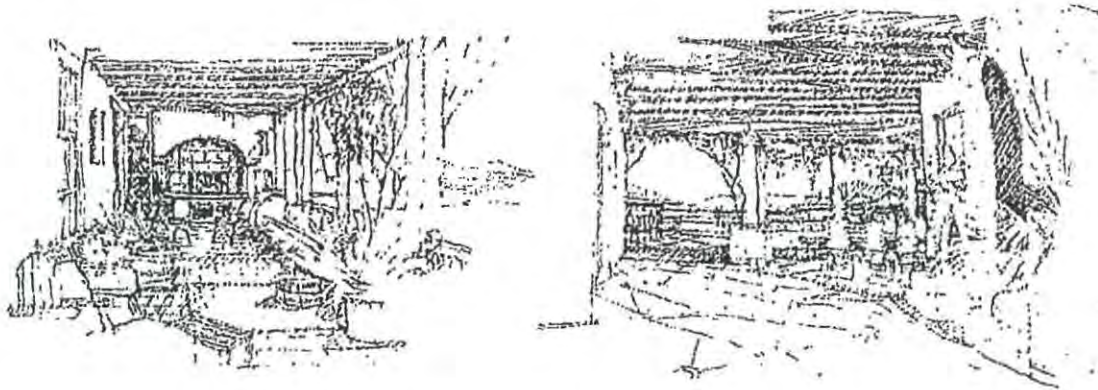
- The entry of residential dwelling units shall be articulated as a focal point of the building's front elevation through the appropriate use of roof elements, columns, porticos, recesses or projections, windows or other architectural features.



- Sufficient stacking distances at project entries shall be, wherever possible, provided.

#### Porches, Balconies, and Railings

- Front porches shall be designed, where feasible, as an integral part of buildings to provide visual interest, as well as to promote social interaction among community residents by providing outdoor living spaces oriented to the front of the dwelling unit.
- Incorporate porches and balconies to function as extensions of interior spaces, to provide shaded outdoor living spaces.



- Porches and balconies shall be designed as an integral component of the building and not as a poorly conceived add-on element.
- The design of porch and balcony railings shall complement the building's architecture and style.
- Second story balconies are encouraged to provide visual interest.

#### **Columns**

- Columns used as a structural or aesthetic design element shall convey a solid and durable image, and shall be consistent with the architectural style of the building.
- Columns may be used as a free-standing form, or as support for roofs and balconies.

#### **Chimneys**

- Chimneys, particularly chimney caps, shall be simple in design, so as not to distract from the building.



- The design of chimneys shall be compatible with the architectural style of the building. Exposed metal flues are not permitted.



### Garage Doors

- Garage doors shall be compatible with the architectural style of the residence and incorporate design details that minimize the impact of large flat surfaces towards the street.
- It is encouraged that two single doors shall be utilized for some two-car garages, while three-car garages may incorporate a double door with a single door or three single doors.
- Where three-car garages are proposed, at least one garage entrance shall be offset or detached from the remaining two entrances.

### Exterior Stairs

- Exterior stairways shall be simple bold elements which complement the architectural massing and form of the residence.

### Archways

- The use of archways must be compatible with the architectural style of the building, and

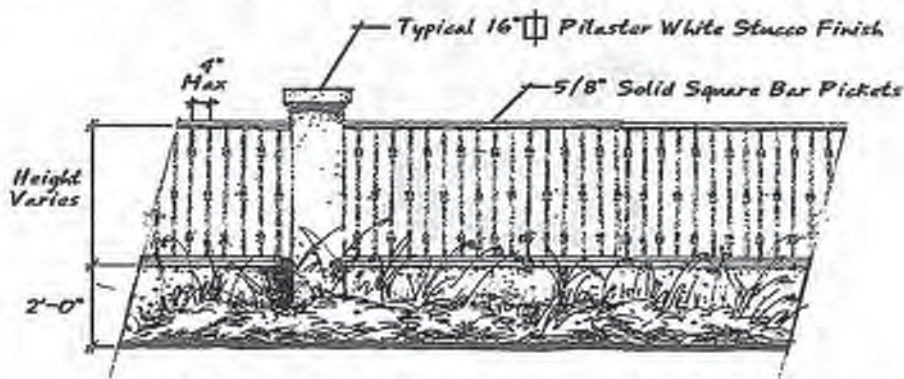


shall be designed as a complimentary part of the building or adjacent courtyard.

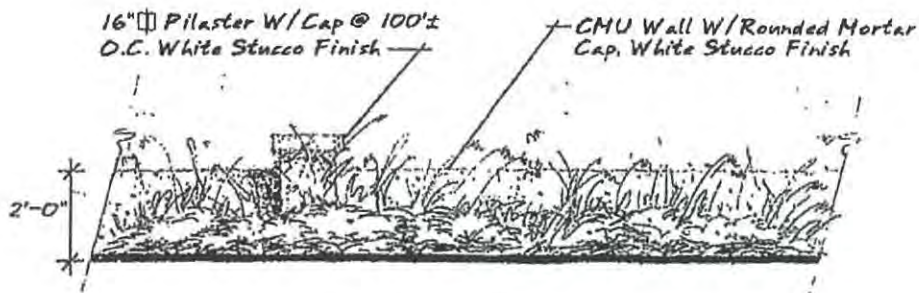
- When used, archways shall define outdoor spaces, such as entries, porticos, patios, and courtyards.

### Walls and Fences

- Walls and fences which are visible from streets, open space, or other private or quasi-public areas, shall be compatible in material, color, and design with adjacent architectural elements.



PONY WALL W/DECORATIVE WROUGHT IRON FENCING



SOLID LOW WALL

### Building Details

- All mechanical equipment shall be screened from view by walls or fences compatible with the building architecture, or by plant material adequate in size to provide proper screening.
- The materials, colors, and forms of carport structures shall be consistent with the architectural style of the neighborhoods in which they are located.
- Accessory structures shall be consistent with the architectural style of the adjacent buildings.
- All flashing, sheet metal, and vents shall be, wherever possible, painted or screened from view in a manner which is compatible with the building architecture.

### Common Space Elements

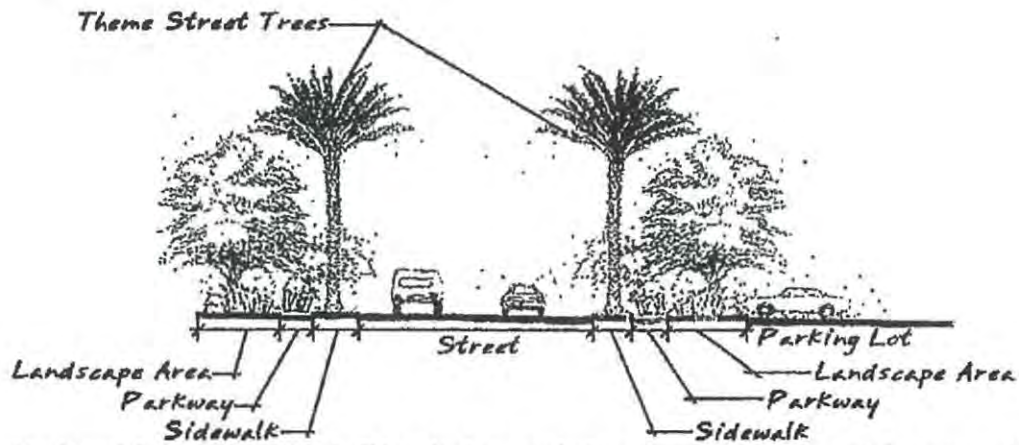
- All residential areas shall have fully enclosed trash enclosures, which are compatible in material, color and design with the building architecture.
- Support facilities such as recreation buildings, permanent leasing offices, mail stations, etc., shall be designed in the same architectural style, and to the same level of detail and articulation, as the main buildings they support.

## B. Residential Site Planning Criteria

### Single-Family Detached

The following concept shall be incorporated into the design of single-family detached neighborhoods:

- The street layout within residential neighborhoods shall provide view corridors to the pedestrian pathways, open space, and landscape elements, thereby unifying pedestrian circulation and site landmarks, where feasible.
- The use of parkways or greenbelt gardens connecting the residential courts is encouraged in the design of neighborhood streetscapes.

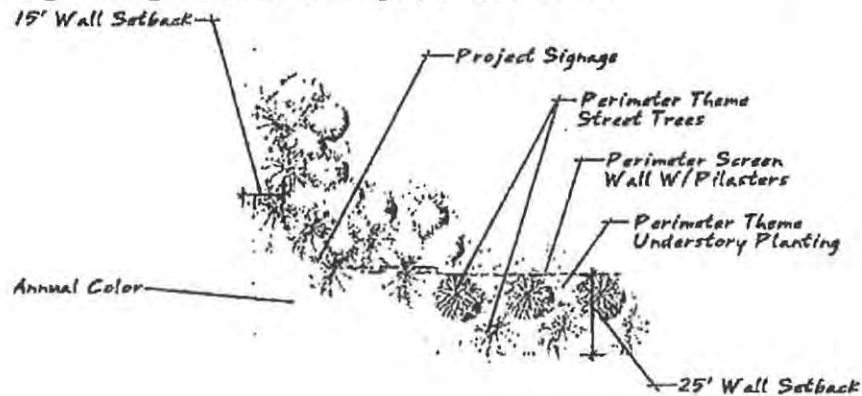


- Residential dwelling units shall be sited to maximize view opportunities of the mountains in the La Quinta region where feasible.
- Where two-story units are located adjacent to one another, the side second story of at least one unit shall be stepped back, where feasible, to create a single-story plate line along the common side yard.
- The location of dwelling units may include a random mix of front entry and side entry garages, along with a motor court concept, where feasible, to provide variety to the street scene.

**Single-Family Attached**

The general site planning concepts established for the single-family detached neighborhoods also apply to the single-family attached neighborhoods. In addition the following concept shall be incorporated into the design of single-family attached neighborhoods:

- Neighborhood entry roadways shall focus on an amenity or a community open space feature or landmark, where feasible.
- The street layout within residential neighborhoods shall provide view corridors to the open space and other special community features and landmarks, where feasible. In addition, the view corridors should also provide physical access to these community features, where feasible.
- The design of streets shall be pedestrian oriented. The use of parkways is encouraged in the design of neighborhood streetscapes, where feasible.



## **2.7.5 Grading Design Standards and Guidelines**

The following Guidelines are provided to give general direction to grading design. The primary focus of these Guidelines is to minimize the visual impact of grading by shaping the landform to reflect a more natural topography. The existing relatively flat character of the Specific Plan 03-067 site will require a carefully thought out grading design to significantly alter the natural landform to create drama and visual excitement.

These Guidelines are intended to outline approaches to landform alterations which accomplish this drama and yet sensitively blend graded areas with the adjacent topographic conditions. Since the majority of Coral Mountain property is generally without significant contour or grade, it is anticipated that landform alteration associated with the development will be substantial in order to achieve the development goal of the creation of unique and dramatic landform within the golf course, residential, and open space area of the plan.

### **Grading Concepts and Standards**

Landform alteration proposed as a part of construction within the project site boundary is subject to review and approval by the developer as part of the plan review procedures.

Such review shall include, but not be limited to, the following criteria:

Manufactured slopes should be varied in cross-section and along the slope length that utilize varied gradients.

Manufactured landforms at development edges shall be recontoured to a transition to their existing grade.

The toe and crest of any manufactured slope in excess of ten feet (10') in height shall be rounded with vertical curves to create natural, nonabrupt grade changes.

All graded slopes shall be revegetated and irrigated in accordance with the landscape architectural and resource management standards outlined in these Guidelines, and as approved by the developer.

Where residential access across drainage courses occurs it shall be accomplished by a bridge or aesthetically enhanced culvert. Where these improvements occur, natural materials may be used for slope bank protection.

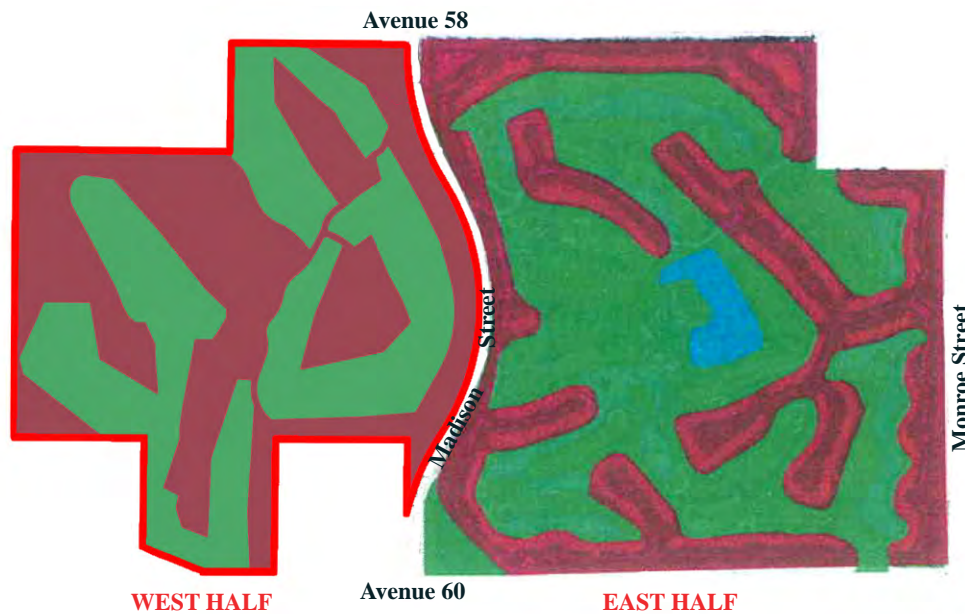
Berms, channels, swales, etc., shall be graded in such a way as to be an integral part of the graded and/or paved surface, and shall be designed with smooth vertical transitions between changes in slope.

Grading and Drainage Plans must be prepared under the direction of a licensed Civil Engineer.

## 2.7.6 The Specific Plan 03-067 Phasing Plan

At the time of submittal of the Specific Plan 03-067, it is anticipated that the Specific Plan area encompassed in the Specific Plan 03-067 will be developed in five, two-year phases beginning in 2003 and continuing until 2013 as illustrated on the Development Phasing Plan herein.

The types of development and the residential product offering occurring within each of the development phases may vary depending upon market conditions. Public facilities will, however, be provided concurrently with development requiring facilities and infrastructure for support.



### The Phasing Concept

The Specific Plan is expected to be developed in five two-year phases beginning with:

- ➔ Phase I in the southeast half of the Specific Plan area with the construction of the first of two golf courses;
- ➔ Phase II will entail development of various residential tracts adjacent to the golf element of Phase I;
- ➔ Phase III, will entail development of residential products adjacent to the clubhouse and recreation amenities element of the master plan and the commercial center on the North East corner of Madison & Avenue 59.
- ➔ Phase IV will consist of the construction of the second golf course and associated supporting facilities;
- ➔ Phase V will entail development of various residential tracts adjacent to the golf element of Phase IV and the commercial center on the North West corner of Madison and Avenue 58.

Public facilities and improvements will be provided and phased in accordance with the requirements of the City of La Quinta and the County of Riverside when applicable. Transportation, drainage, water and sewer improvements will be provided as described in this Specific Plan.

### 2.7.7 Andalusia (East Tract) Plant Material Palette

The theme of the landscape architecture at the Specific Plan 03-067 project is to create a lush desert character of visual variety and textural interest while complying with water conserving techniques based on plant selection and technical irrigation system design. Consistent with this goal, use of drought tolerant plant material is a primary consideration in the development of the plant palette to further aid in the conservation of water while promoting this lush desert theme in the prevailing landscape image.

To provide guidance to the builders and designers of future projects within the Specific Plan 03-067 project, the plant material palette suggested gives guidance to builders and developers within the project. Species in addition to those listed are to be considered in order to provide diversity; however, the plant material in the list provided are relatively successful in the unique soil and climactic conditions of project site.

#### PLANT PALETTE

	BOTANICAL NAME	COMMON NAME
<b>Trees</b>	<i>Acacia salicina</i>	Weeping Wattle
	<i>Acacia saligna</i>	Blue Leaf Wattle
	<i>Acacia smalli</i>	Desert Sweet Acacia
	<i>Acacia stenophylla</i>	Shoestring Acacia
	<i>Brachychiton populneus</i>	Bottle Tree
	<i>Cercidium floridum</i>	Blue Palo Verde
	<i>Cercidium hybrid</i>	Desert Museum
	<i>Cercidium praecox</i>	Sonoran Palo Verde
	<i>Chamerops humilis</i>	Med. Fan Palm
	<i>Chilopsis linearis</i>	Desert Willow
	Citrus Species	Citrus
	<i>Cupressus sempervirens</i>	Italian Cypress
	<i>Fraxinus Uhdei 'Majestic Beauty'</i>	Evergreen Ash
	<i>Geijera parviflora</i>	Australian Willow
	<i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Lysiloma microphylla var. thomberri</i>	Feather Bush
	<i>Olea europaea</i>	Olive
	<i>Olneya Tesota</i>	Desert Ironwood
	<i>Parkinsonia aculeata</i>	Mexican Palo Verde
	<i>Phoenix dactylifera</i>	Date Palm
	<i>Pinus eldarica</i>	Afghan Pine
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Prosopis chilensis</i>	Chilean Mesquite
	<i>Rhus lancea</i>	African Sumac
	<i>Schinus Terebinthifolius</i>	Brazilian Pepper Tree
	<i>Thevetia peruviana</i>	Yellow Oleander
	<i>Ulmus parvifolia</i>	Elm
	<i>Washingtonia filifera</i>	California Fan Palm
	<i>Washingtonia robusta</i>	Mexican Fan Palm
<b>SHRUBS:</b>	<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
	<i>Carissa grandiflora</i>	Natal Plum
	<i>Cassia nemophilla</i>	Desert Cassia
	<i>Dietes vegeta</i>	Fortnight Lily

Dodonaea viscosa  
Hemerocallis hybrid  
Heteromeles arbutifolia  
Hibiscus species  
Justicia californica  
Leucophyllum Species  
Myrtus communis 'Compacta'  
Nandina domestica  
Photinia fraseri  
Phormium tenax  
Pittosporum tobira  
Prunus caroliniana  
Raphiolepis indica  
Rosmarinus officinalis  
Ruellia brittonia 'Katie'  
Ruellia californica  
Sophora secundiflora  
Tecoma stans 'Angustata'  
Tecomaria capensis  
Xyosma congestum

Green Hopseed Bush  
Daylily  
Toyon  
Hibiscus  
Chuparosa  
Texas Ranger  
Compact Myrtle  
Heavenly Bamboo  
Photinia  
New Zealand Flax  
'Wheeler's Dwarf'  
Carolina Laurel Cherry  
India Hawthorn  
Rosemary  
Compact Ruellia  
Ruellia  
Texas Mountain Laurel  
Yellow Bells  
Cape Honeysuckle  
N.C.N.

**GROUND COVER:**

Acacia redolens  
Baccharis x  
Bougainvillea  
Dalea greggii  
Lantana camara  
Lantana montevidensis  
Myoporum parvifolium  
Oenothera berlandieri  
Primrose  
Pyracantha fortuneana  
Rosmarinus officinalis  
Turf  
Verbena species

Desert Carpet  
'Centennial'  
various  
Trailing Indigo Bush  
'New Gold'  
Purple Trailing Lantana  
Prostrate Myoporum  
Mexican Evening

Firethorn  
'Prostratus'

Verbena

**VINES:**

Antigonon leptopus  
Bougainvillea species  
Clytostoma callistegioides  
Ficus pumila  
Macfadyena unguis-cati - Cat's Claw  
Rosa banksiae - Lady Bank's Rose

Coral Vine  
'Barbara Karst'  
Violet Trumpet Vine  
Creeping Fig

**ACCENTS:**

Annual Color  
Agave deserti  
Agave desmetiana  
Aloe barbadensis  
Dasylirion wheeleri  
Hesperaloe parviflora  
Muhlenbergia emersylleyi 'Regal Mist'  
Muhlenbergia rigens  
Nolina microcarpa  
Phormium tenax

Desert Agave  
Agave  
Aloe Vera  
Desert Spoon  
Red Yucca  
Bull Grass  
Deer Grass  
Bear Grass  
New Zealand Flax

## **2.8 CORAL MOUNTAIN CLUB (WEST TRACT) DESIGN GUIDELINES & STANDARDS**

### **Coral Mountain Club Community Theme**

The guidelines contained in this chapter identify unifying elements for design of permanent buildings and landscaping within that portion of each Planning Area west of Madison Street. Renderings, simulations and photographs are intended as thematic illustrations and do not depict final designs, nor should they limit the range of creative expression available to the developer or their professional design team. These guidelines will be reflected in subsequent implementing subdivision maps and development permits. The Specific Plan emphasizes the creation of low-density, walkable neighborhoods oriented around the golf course which has been long planned and previously entitled as the central amenity within the West Tract. These guidelines will assist the developer to execute a built environment that incorporates the following main concepts as depicted in the Figure 2.8-1, Illustrative Site Concept:

- Develop a residential golf community with access to recreational amenities, and commercial services.
- Establish residential neighborhoods that are linked through multi-use trails that connect neighborhoods throughout the West Tract.
- Develop buildings which respond to the desert environment and utilize passive heating / cooling techniques through orientation and design.
- Incorporate a variety of open space and recreational uses (active and passive).
- Design a planned community that complements existing development in the surrounding area and is compatible with the surrounding environment.
- Develop a community that is visually attractive and captures the essence of the Coral Mountain landscape.
- Embrace “Desert Modern” as the architectural theme for the West Tract. The intent of this broad theme is to encourage creativity, flexibility, variability, diversity and individuality when considering the architectural design of buildings within the West Tract.

To implement these concepts, design guidelines and standards are provided for each of the West Tract's three Planning Areas.

#### **2.8.1 Residential Guidelines (PA-III)**

Planning Area III (PA-III) will accommodate residential neighborhoods that take access from the primary entry road. Residences here will take advantage of spectacular south to southwest facing views of Coral Mountain and the Santa Rosa Mountains. Pedestrian and bike trails will provide multi-use connectivity within the residential areas and with Neighborhood

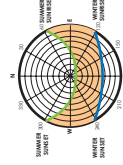




**Legend**

- A** Single Family Lot Residential  
(\*B.O.H. Option\*)
- B** Commercial Corner
- C** Project Entry
- D** Single Family Lot Homesites, Typ.
- E** B.O.R./ CVWD Easement
- F** Cluster Residential Product
- G** Club Core
- H** Active Sports
- I** Golf Irrigation Lake (+/- 2 acres)
- J** Single Family Lot Residential  
(\*B.O.H. Option\*)
- K** Open Space/Recreation Area
- L** Activity Lake (+/- 10 acres)
- M** Coral Mountain Trail Connection

\*Potential B.O.H. Operations TBD\*



**Planting Zones : Desert Garden**

Source : VITA Inc., Planning & Landscape Architecture

Commercial corner. These guidelines shall apply equally to both attached and detached products.

### **Residential Design Vision**

The intent in PA-III is to create residential neighborhoods that maximize privacy between individual homes while embracing the desert landscape. Residential design may be reflective of contemporary desert architecture, desert vernacular, and simple interpretations of architectural form. Spanish Colonial, Moorish, or other historically themed architectural styles should be avoided within the “Desert Modern” theme for the project.



*Residential design inspired and informed by the desert environment*

Planning for the residential areas within the West Tract is oriented towards and influenced by the community amenities as activity hubs for the project with open space and trail connections providing easy access to the amenities. Residents are encouraged to walk or use alternate forms of transportation to access the community amenities to help promote a pedestrian friendly community and reduce traffic.

The climate in La Quinta is characterized by sunny and hot weather in the summer and relatively mild winters with excellent air clarity. The design of residences shall incorporate elements that respond to these conditions, such as patios, courtyards, arcades, plazas, and outdoor pedestrian areas which encourage residents to take advantage of outdoor living. Other residential site planning considerations include the following:

- The placement of structures should consider prevalent environmental conditions including sun orientation, prevailing winds, and desired views.
- Orientation of residential development edges should maximize view potential and access to natural open areas and recreation areas.
- Varying house configurations are encouraged to promote variety in the street scene.
- A combination of side-entering and front-entering garages with varied driveway locations are encouraged in order to manage repetitive curb cuts and yard patterns.
- Recreation areas/greenbelt features shall be, wherever feasible, visible upon entry to neighborhoods to enhance neighborhood value.

### **Residential Materials**

Building materials will feature high-performance characteristics meant to reduce carbon footprint with sustainable attributes. Natural stone, stucco, architectural concrete, pre-finished metal panels, cementitious panels or siding, and thermally-modified wood siding may be utilized as the finish material for vertical surfaces in a range of natural colors which complement the desert landscape. Roofing products may be selected from a variety of metal profiles like corrugated or standing seam as well as a variety of roof materials. The colors of the roofing materials shall utilize lighter tones to reduce heat gain such as white, sand, and gray. Roof mounted photo-voltaic solar panels will be used throughout the project.



*Sustainable and high-performance residential building materials*

### **Residential Massing and Scale**

Residences will be broken down into a collection of building forms to avoid a singular massing expression. Courtyards are encouraged as an effective way to engage the desert landscape while reducing the apparent mass of a home. Stand alone casitas or guest and pool

houses as well as detached garages with and without carriage units are encouraged. Buildings shall be generally one-story in scale and appropriately massed with secondary two-story elements that create visual interest. Porches, loggias, trellises, and brise-soleil are encouraged to provide solar control and create opportunities to express crafted details.

### **Residential Architecture**

A variety of architectural designs are preferred. Further, special consideration should be given to passive solar building orientation in order to develop custom homes that perform efficiently in the desert environment .

### **Windows and Doors**

- To withstand the desert heat, high-performance residential windows with responsive passive solar shading strategies are encouraged. Window sash colors shall complement the building.
- Large panes or walls of operable glass allow spaces to flow seamlessly indoor-outdoor may be used at select locations. Window and door details that reveal the depth of the wall assembly are encouraged. If trim is used, it shall complement the building.
- The style of windows shall be compatible with the architectural style of the residence. The eclectic use of different window styles or shapes on one building plane may be considered appropriate provided the resulting composition remains coherent.
- Clerestory windows encouraging a natural stack effect for ventilation and visually allowing the roof to float above the wall plane shall be used as long as they are consistent with the style of the residence.



*A variety of residential window and door configurations adapted for the desert environment*

## Residential Entries

- The entry of a residence shall be an important design consideration for PA-II. Entries can be signified by porches, trellises, columns, recesses, projections, sidelights, other architectural features and/or vibrant color accents.
- Residential entries shall be scaled appropriately.

## Residential Porches, Loggias, Balconies, and Railings

- Front porches encourage neighborly interaction and signify entry to the unit.
- Porches and loggias shall be incorporated into residential design to the greatest extent possible with a focus on craftsmanship and sun control.
- Porches, loggias, and balconies facilitate seamless indoor-outdoor experiences and provide visual interest, shadow, texture, and shade.
- Second story balconies shall be designed as an integral component of the residence and may be expressed as recessed or additive.
- Railing details will be in harmony with the architectural character of the residence.



*Residential porches functioning as shading devices from the intense sun*

## Residential Columns

- Columns shall be used as structural elements consistent with the architectural expression of an individual residence.
- Columns may be used as supports for porches, loggias, balconies, and roofs and express craftsmanship through connection details or material assemblies.
- Use of historic column forms (doric, ionic, corinthian, etc.) are not permitted.

## Residential Chimneys

- Chimneys are often important design elements and signature features on residences. Chimney caps shall be simple in design and provide visual screening for vent or flue terminuses.
- The design of chimneys shall be compatible with residential architecture.

### **Residential Garage Doors**

- Garage doors shall be compatible with the architectural style of the residence. Design details like porches, trellises, or deep recesses minimize the impact of garage doors from the driveway and street.
- It is encouraged that two single doors (or a single door designed to look like two doors) be utilized for two-car garages while three-car garages may incorporate a double door and single door or three single doors.
- Where three car garages are proposed, at least one garage entrance should be offset or detached from the remaining two entrances.

### **Residential Exterior Stairs**

- Exterior Stairs shall be simple elements which complement the massing and form of the residence.

### **Residential Building Details**

- Exterior residential mechanical equipment shall be screened from view by walls, fences, or landscaping.
- Guest houses, casitas, detached garages, and carports will be integrated into the design of individual residences and neighborhoods.
- Finish materials on raised planters for floral, vegetable, or herb gardens should complement materials used in the residence.
- Flashing and sheet-metal shall be prefinished.
- Vents, roof appurtenances, gutters, and downspouts shall be integrated into the residential design or screened from view.

### **Residential Outdoor Spaces**

- Residential courtyards and outdoor spaces will be designed to seamlessly integrate indoor and outdoor experiences. Trees, shade canopies, trellises, or other landscape elements provide shade and comfort and create outdoor gathering spaces that connect with interior uses.



*Thoughtfully planned outdoor spaces create privacy for individual residences*

### **Residential Walls and Fences**

- When walls and fences are visible from any street, open space, or other common areas, they shall be compatible in material, color, and design of adjacent architectural features.

### **Residential Parking**

- All residential parking areas, including auto-courts, shall be screened from view of adjacent roadways and neighbors-

## **2.8.2 Neighborhood Commercial Guidelines (PA-V)**

### **Commercial Design Vision**

The Neighborhood Commercial (PA-V) area will create a memorable arrival experience and provide an attractive public retail experience. This commercial corner will provide homeowners and neighbors with convenient retail, food and beverage services in a relaxed lifestyle environment.



*Neighborhood Commercial character inspiration*

The Neighborhood Commercial area has been planned as a publicly-accessible retail commercial use fronting Madison Street and Avenue 58. It is anticipated that the commercial development will include both neighborhood- and visitor-serving businesses. In addition to vehicular access, a multi-use trail will accommodate pedestrian and bicycle access from within the Coral Mountain Club community and from sidewalks on adjoining public streets. Commercial buildings will be one and two-story with pedestrian-level interest or detailing. The following principles are intended to guide the overall design and development goals of the Neighborhood Commercial area:

- Streets will maintain a narrow road profile with on-street parking to help slow traffic and encourage walking or electric cart circulation.
- Utilize smaller, neighborhood-scale retail buildings to create a walkable, pedestrian-friendly environment.
- Shade and pedestrian comfort will be provided through the use of arcades, shade devices, landscaping, and building orientation.
- Special areas such as paseos, plazas, and courtyards shall be created to further enhance the pedestrian scale of the commercial area and to provide comfortable spaces for outdoor dining.
- Provide flexibility in commercial architecture to encourage creative and innovative retail concepts.

### **Commercial Materials**

- Materials for Neighborhood Commercial (PA-V) should be complementary to the residential uses in PA-III and feature high-performance characteristics with sustainable attributes. Natural stone, stucco, architectural concrete, pre-finished metal panels, cementitious panels or siding, and thermally-modified wood siding may be utilized as the finish material for vertical surfaces in a range of natural colors which complement the desert landscape. Roofing products may be selected from a variety of metal profiles like corrugated or standing seam as well as a variety of membrane roofs. The colors of the roofing materials shall conform to a range of lighter tones to reduce heat gain such as white, sand, and gray. Roof mounted photo-voltaic solar panels may be used throughout the project to encourage the use of alternate transportation within the project.
- Parking areas shall provide clearly defined pedestrian circulation.

### **2.8.3 Coral Mountain Club Landscape Guidelines (West Tract)**

The landscape design will establish an identity and theme for the project and will be an overall unifying element.

#### **Landscape Elements**

Figure 2.8-1 *Conceptual Landscape Plan* depicts the overall landscape concept for the project for illustrative purposes. Generally, the conceptual landscape plan incorporates landscape elements that establish a “sense of place” and creates visual unity and compatibility throughout the project. Key landscape elements would include entryways, streetscapes, and common areas described below. Final landscape design will be subject to Site Development Permit review and Final Landscaping Plan permits.

#### **Project Entries**

The principal community entry from Madison Street is intended to create a “sense of place” upon entering the West Tract. Walls, fences, monumentation, and all other hardscape elements will utilize materials, color, and detailing that are compatible with the Project architecture.



Landscape plantings distinguish the project entrance through the use of grove trees and textural shrubs and grasses.

The primary entry road leading from the primary project entry will provide central access to individual residential communities and amenities. An informal arrangement of water efficient trees and shrubs will characterize this corridor. The landscape treatment along this spine road is designed to establish physical and visual connectivity between uses within the West Tract.

### **Perimeter Public Streetscape**

Landscaping and trails along the perimeter roadway frontages are designed to provide a varied, comforting environment for pedestrians, cyclists, and equestrians through provision of a meandering multi-use trail as a component of the public street system. Informal arrangements of water efficient, drought tolerant plantings create interest through texture, color, and form.

### **Common Areas**

Common area landscaping is intended to complement the residential character of the project, creating a unique sense of place and connectivity. The trail network along the primary entry road connects to the community trail system. Select tree and shrub plantings will blend with the native landscape, providing shade for the open space areas and a backdrop to the community.

### **Thematic Planting Zones**

*Figure 2.8-2, Planting Zones Diagram* identifies the various Thematic Planting Zones within the West Tract. Each Planting Zone is described in further detail in Figures 2.8-3 to 2.8.6

#### **Native Landscape**

As illustrated in *Figure 2.8-2, Planting Zones Diagram*, this Area is to be maintained as existing landscape and preserved as open space. These areas may require refurbishing and some ongoing maintenance.

#### **Desert Revegetation**

Depicted in *Figure 2.8-3, Planting Zones Diagram: Desert Revegetation*, the Desert Revegetation Landscape links the community with the native Coral Mountain landscape by creating an enhanced planting zone that steadily transitions to the surrounding open spaces and landscapes as it nears the southern and western perimeter of the Coral Mountain Club property. This enhancement of a largely native landscape provides a more robust trail and outdoor pursuits experience while also creating a varied and dynamic backdrop for the community.

#### **Desert Garden**

As shown in *Figure 2.8-4, Planting Zones Diagram: Desert Garden*, the Desert Garden Landscape engages the community by cultivating a curated “desert” environment within the common areas along roadways or woven into each neighborhood. Residents can walk out of their home and immediately be immersed in the Coral Mountain Club experience. This garden

landscape is characterized by a mix of date palms and Washingtonia Palms, and a selection of water efficient accent trees, shrubs, and grasses. As part of the planting concept, “edible plant palettes” may be established within this zone as appropriate to service culinary and community food security needs.

### **Desert Oasis**

Depicted in *Figure 2.8-5, Planting Zones Diagram: Desert Oasis* the Desert Oasis Landscape begins at the main project entry and extends along the central access road corridor, providing residents with a more punctuated, welcoming garden retreat as a contrast to the surrounding desert landscape. This landscape is characterized by a greater mixture of foliage colors and types, with species that maintain their appearance throughout the year. The landscape and architecture work together to provide a shady and comfortable environment. Flowering accent plants add seasonal interest throughout the year. The design geometry is casual, but has a direct relationship to the surrounding architecture. The contrast between straight, formal architectural walls and the flowing, organic landscape creates a dynamic signature for key gathering spaces within the community.

### **Village Landscape**

Illustrated in *Figure 2.8-6, Planting Zones Diagram: Village Landscape*, the Village Landscape consists primarily of streetscape and limited common area plantings within the village core, and is more “urban” in character. Trees and palms that afford shade and provide an architectural quality through their arrangement are a dominant component of this landscape zone. Accent shrubs, grasses, and succulents enhance the urban, architectural quality of the village core. Allees or groves of palm or citrus afford a geometric framework within select “public” spaces such as the hotel arrival, along the boardwalk, or in parking areas. In parks or other village common areas the planting geometry is more casual and varied. As part of the planting concept, “edible plant palettes” may be established within this zone as appropriate to service culinary and community food security needs.

# LANDSCAPE THEME



## Desert Revegetation:

- Transitional planting zone that creates an enhanced desert landscape at the foot of Coral Mountain.
- Low-water use native and/or adapted tree and shrub species.
- Informal arrangements of canopy trees.
- Areas of unplanted earth are left open between shrubs and trees.



## Desert Garden:

- Mass plantings of color and texture.
- Low-water use native and/or adapted tree and shrub species.
- Informal arrangements of canopy trees along roadways and trails.
- Open areas between shrubs.



## Desert Oasis:

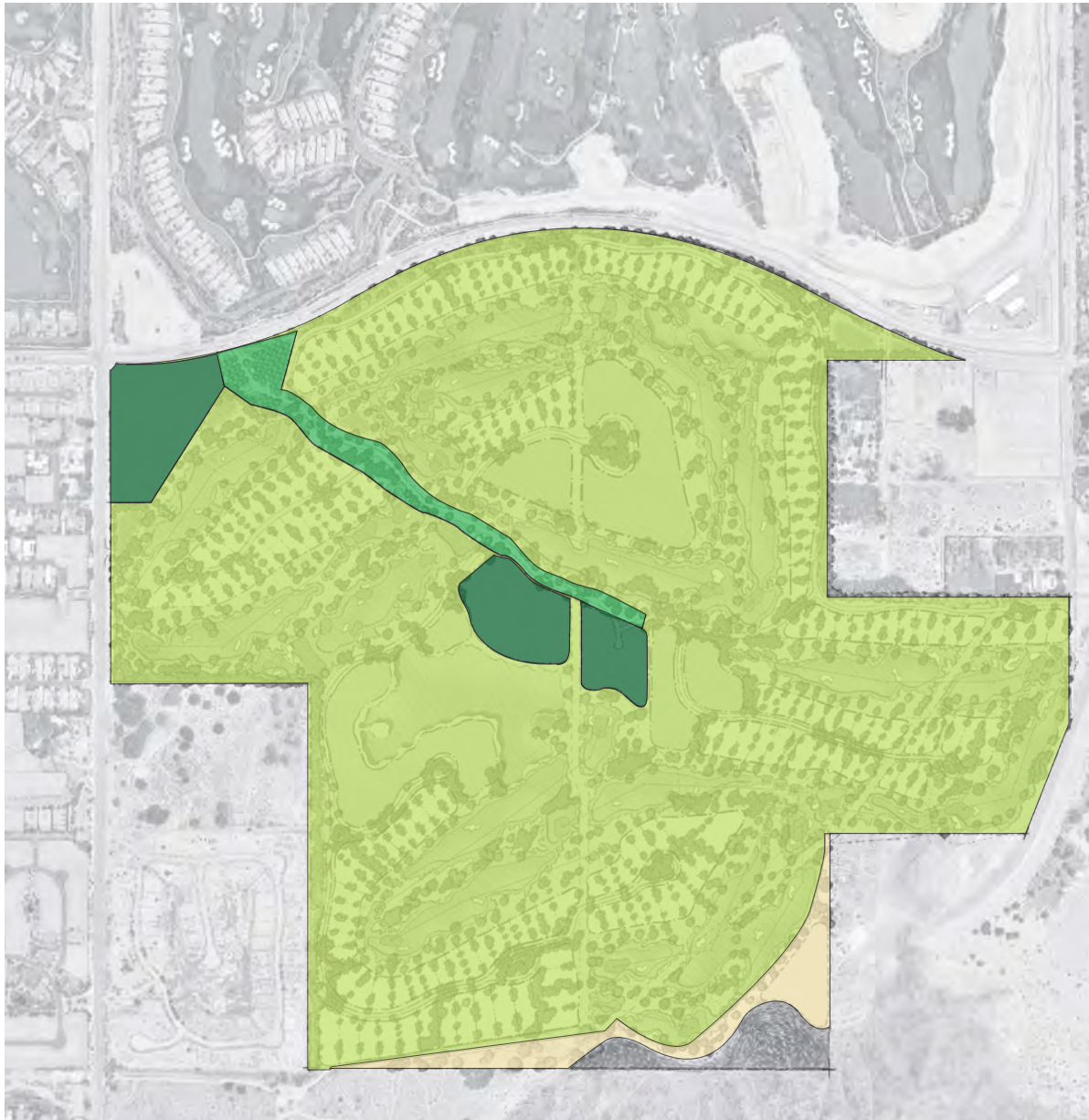
- Date palm grove is the principle organizing inference -- reminiscent of historical agricultural patterns.
- Expanses of mounding grasses
- Agave and taller shrubs provide foundation planting to community and entry walls.



## Amenity Landscape:

- Date palms line the main road creating an "architectural" framework for the arrival.
- A mixed palette of succulents and mounding grasses utilize subtle texture and color differences to provide interest along the streetscape.

\*\*Note: Other plants may be added to the palette consistent with the CVWD "Lush and Efficient" Landscape Manual for all areas, except where certain species conflict with the Multi-Species Habitat Conservation Plan requirements as specified in MSHCP table 4-13. See also section 2.8.5\*\*



Planting Zones Diagram

Source : VITA Inc., Planning & Landscape Architecture



**Figure 2.8-3 Planting Zones : Desert Revegetation**

Source : VITA Inc., Planning & Landscape Architecture



Figure 2.8-4 Planting Zones : Desert Garden

Source : VITA Inc., Planning & Landscape Architecture

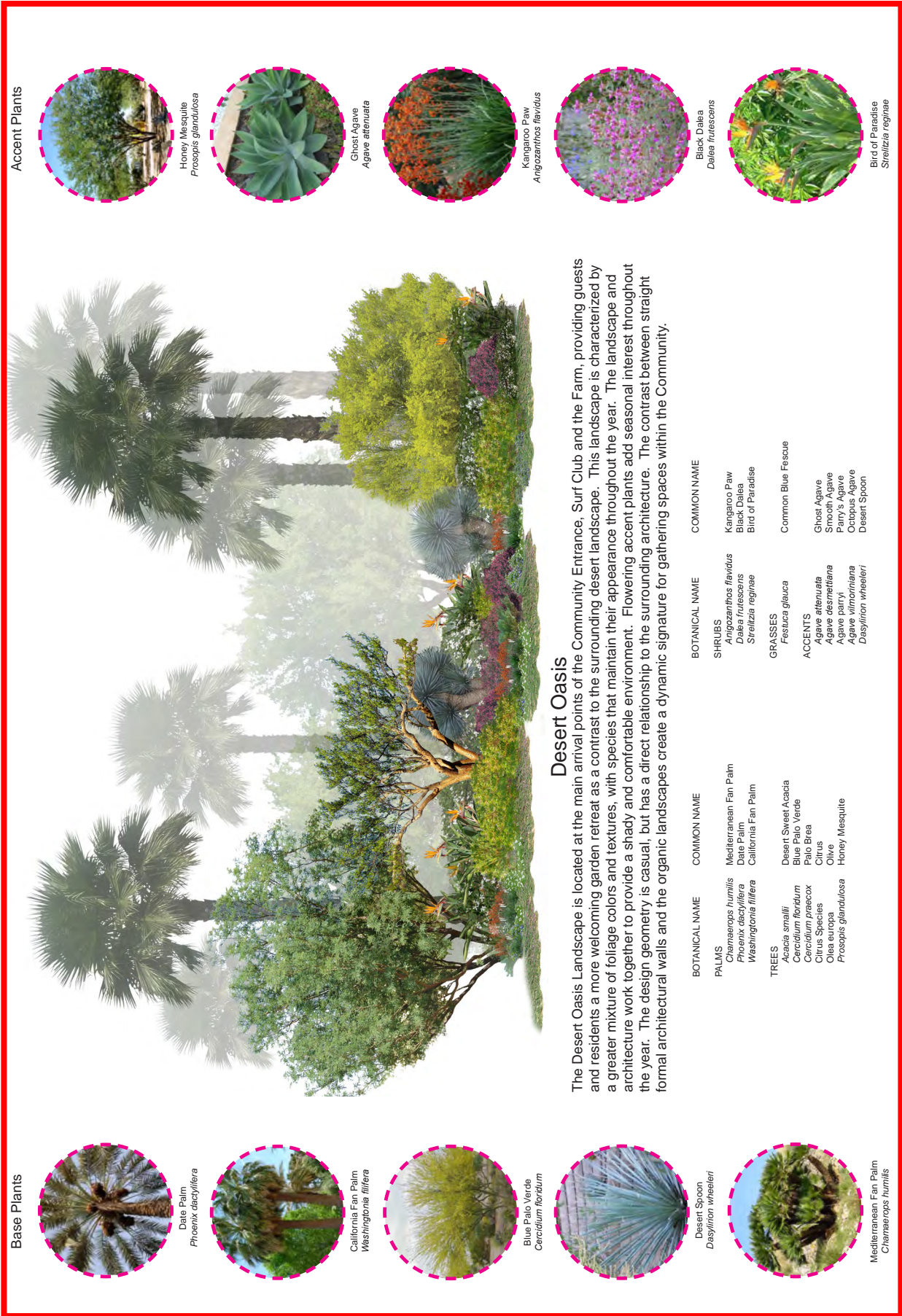


Figure 2.8-5 Planting Zones : Desert Oasis

Source : VITA Inc., Planning & Landscape Architecture



**Figure 2.8-6 Planting Zones : Amenity Landscape**

Source : VITA Inc., Planning & Landscape Architecture

## 2.8.4 Coral Mountain Club (West Tract) Plant Material Palette

Table 3, *Coral Mountain Club Plant Material Palette*, provides a list of compatible trees, shrubs, and groundcovers to be incorporated as part of the landscape design. Landscape architecture for the project is intended to create a lush desert character of visual variety and textural interest while complying with water conserving techniques based on plant selection and technical irrigation system design. Consistent with this goal, use of drought tolerant plant material is a primary consideration in the development of the plant palette to further aid in the conservation of water while promoting this lush desert theme in the prevailing landscape image.

To provide guidance to the builders and designers of future projects within the project, the plant material palette gives guidance to builders and developers within the project. Species in addition to those listed are to be considered in order to provide diversity; however, the plant material in the list provided is relatively successful in the unique soil and climactic conditions of project site.

TABLE 3: CORAL MOUNTAIN CLUB PLANT MATERIAL PALETTE

	BOTANICAL NAME	COMMON NAME
<b>Trees</b>	Acacia Aneura	Mulga
	Acacia salicina*	Native Willow*
	Acacia saligna*	Blue Leaf Wattle*
	Acacia smalli*	Desert Sweet Acacia*
	Acacia stenophylla*	Shoestring Acacia*
	Albizia julibrissin	Mimosa Tree
	Bauhinia purpurea	Purple Orchid Tree
	Brahea armata	Mexican Blue
	Brachychiton populneus	Palm Bottle Tree
	Caesalpinia cacalaco	Cascalote
	Callistemon viminalis	Bottlebrush Tree
	Cercidium floridum	Blue Palo Verde
	Cercidium hybrid	Desert Museum
	Cercidium praecox	Palo Brea
	Chamerops humilis	Med. Fan Palm
	Chilopsis linearis	Desert Willow
	Chitalpa tashkentensis	Chitalpa
	Chorisia linearis	Desert Willow
	Chorisia speciosa	Silk Floss Tree
	Citrus Species	Citrus
	Cupressus sempervirens	Italian Cypress Indian
	Dalbergia sissoo	Indian Rosewood
	Eysenhardtia orthocarpa	Kidneywood
	Fraxinus Uhdei 'Majestic Beauty'	Evergreen Ash



---

<i>Fraxinus velutina</i>	Arizona Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Humilis</i>	Med. Fan Palm
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Lantern Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Lysiloma microphylla</i> var. <i>thomberri</i>	Feather Bush
<i>Melaleuca quinquenervia</i>	Cajeput Tree
<i>Olea europaea</i> *	Olive*.*.*
<i>Olneya Tesota</i>	Desert Ironwood
<i>Parkinsonia aculeata</i> *	Mexican Palo Verde*
<i>Phoenix dactylifera</i> *	Date Palm*
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Pithecellobium mexicanum</i>	Mexican Ebony
<i>Pithecellobium spinosa</i>	Texas Ebony
<i>Prosopis chilensis</i>	Chilean Mesquite
<i>Prosopis glandulosa</i>	Texas Honey Mesquite
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus suber</i>	Crok Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Tipuana tipu</i>	Tipu Tree
<i>Thevetia peruviana</i>	Yellow Oleander
<i>Ulmus parvifolia</i> "Drake"	Drake Elm
<i>Vitex agnus-castus</i>	Chase Tree
<i>Washingtonia filifera</i>	California Fan Palm
<i>Washingtonia robusta</i> *	Mexican Fan Palm*
<i>Acacia farnesiana</i> *	Sweet Acacia*
<i>Bucida buceris</i>	Black Olive
<i>Prosopis species</i>	Mesquite
<b>SHRUBS</b>	
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Carissa grandiflora</i>	Natal Plum
<i>Cassia nemophilla</i>	Desert Cassia
<i>Chrysactinia mexicana</i>	Chamisa
<i>Chrysothamnus nauseosus</i>	Damianita Daisy
<i>Dietes vegeta</i>	Fortnight Lily
<i>Dodonaea viscosa</i>	Green Hopseed Bush
<i>Hemerocallis hybrid</i>	Daylily

	Heteromeles arbutifolia	Toyon
	Hibiscus species	Hibiscus
	Justicia californica	Chuparosa
	Leucophyllum Species	Texas Ranger
	Myrtus communis 'Compacta'	Compact Myrtle
	Nandina domestica	Heavenly Bamboo
	Photinia fraseri	Photinia
	Phormium tenax	New Zealand Flax
	Pittosporum tobira	'Wheeler's Dwarf'
	Prunus caroliniana	Carolina Laurel Cherry
	Rhaphiolepis indica	India Hawthorn
	Rosmarinus officinalis	Rosemary
	Ruellia brittonia 'Katie'	Compact Ruellia
	Ruellia californica	Ruellia
	Simmondsia chinensis	Jojoba
	Sophora secundiflora	Texas Mountain Laurel
	Tecoma stans 'Angustata'	Yellow Bells
	Tecomaria capensis	Cape Honeysuckle
	Xlyosma congestum	N.C.N.
<b>GROUND- COVER</b>	Acacia redolens 'Desert Carpet'*	Prostrate Acacia*
	Baccharis x Centennial	Centennial Coyote Brush
	Bougainvillea Species	Bougainvillea
	Dalea greggii	Trailing Indigo Bush
	Lantana camara 'New Gold	New Gold Lantana
	Lantana montevidensis	Purple Trailing Lantana
	Myoporum parvifolium	Prostrate Myoporum
	Pyracantha fortuneana	
	Rosmarinus officinalis 'Prostratus'	Firethorn
	Turf	Creeping Rosemary
	Verbena species	Turf
		Verbena
<b>VINES</b>	Antigonon leptopus	Coral Vine
	Bougainvillea species	'Barbara Karst'
	Clytostoma callistegioides	Violet Trumpet Vine
	Ficus pumila	Creeping Fig
	Macfadyena unguis-cati	Cat's Claw Creeper
	Rosa banksiae	Lady Bank's Rose
<b>ACCENTS</b>	Annual Color	
	Agave americana	Century Plan
	Agave deserti	Desert Agave
	Agave desmettiana	Agave
	Agave parryi	Parry's Agave
	Agave victoriae-reginae	Queen Victoria Agave
	Aloe barbadensis	Aloe Vera
	Dasyilirion wheeleri	Desert Spoon
	Echinocactus grusonii	Golden Barrel Cactus
	Festuca glauca	Common Blue Fescue
	Fouquieria splendens	Ocotillo
	Hesperaloe parviflora	Red Yucca

Muhlenbergia emersylleyi 'Regal Mist'	Bull Grass
Muhlenbergia rigens	Deer Grass
Nolina bigelovii	Nolina
Nolina microcarpa	Bear Grass
Phormium tenax	New Zealand Flax
Yucca rostrata	Big Bend Yucca

*\*Species that are prohibited within certain areas of the project as depicted on Exhibit 13, Conceptual PBS Barrier Plan.*

*\*\*Fruiting varieties limited to trees designated for active farm-to-table growing at least 500 feet from any western project boundary; ornamental use is prohibited.*

### **2.8.5 Sheep Protection Plan (West Tract)**

Only the project areas west of Madison Street include specific measures to ensure that Peninsular Bighorn Sheep (PBS) are restricted from entering the project and that promote proper human interactions between residents and PBS.

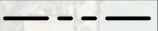

#### **Barrier Plan**

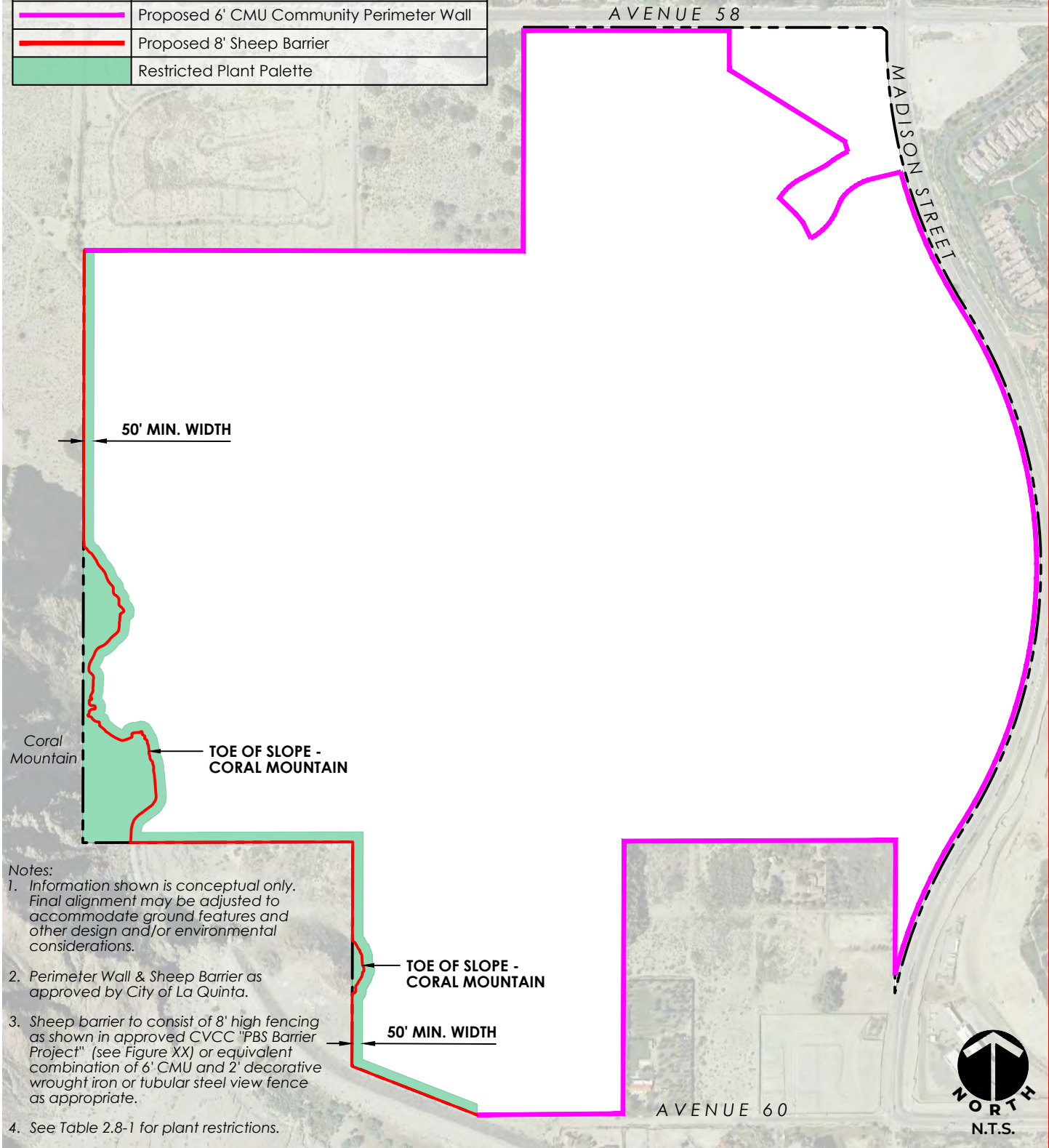
The project will incorporate fencing and walls along the entire project perimeter as shown on Figure 2.8-7 Conceptual PBS Barrier Plan. This will serve as a physical barrier to prevent Peninsular bighorn sheep (PBS) from accessing the site. The fence/wall design will be approved by the City of La Quinta in consultation with the California Department of Fish and Wildlife (CA DFW). It will draw from the prototypical fencing types described in the Coachella Valley Conservation Commission (CVCC) “PBS Barrier Project” as shown in Figure 2.8-8 Typical PBS Fence Cross Section and Figures 2.8-9a & b Representative PBS Fence Photos, and will be consistent with the Coachella Valley Multi-Species Habitat Conservation Plan. Additionally, Tribal monitoring will apply to the fence construction and trail alignment in any areas containing Tribal cultural resources per City of La Quinta requirements.

#### **Plant Palette**

The project plant palette (Table 3 in Section 2.8.4) includes approved native specimens listed as “Coachella Valley Native Plants Recommended for Landscaping” (CVMSHCP Table 4-112) and will prohibit specimens listed as “Prohibited Invasive Ornamental Plants” (MSHCP Table 4-113) in certain open spaces areas and on lots adjoining any sheep barrier as shown on Figure 2.8-7 Conceptual PBS Barrier Plan. In addition, when an implementing project is approved, the approved project plant palette will be referenced in the Project CC&Rs and will be enforceable by the property owners’ association for the life of the project.

**Legend:**

	Project Boundary
	Proposed 6' CMU Community Perimeter Wall
	Proposed 8' Sheep Barrier
	Restricted Plant Palette



**Notes:**

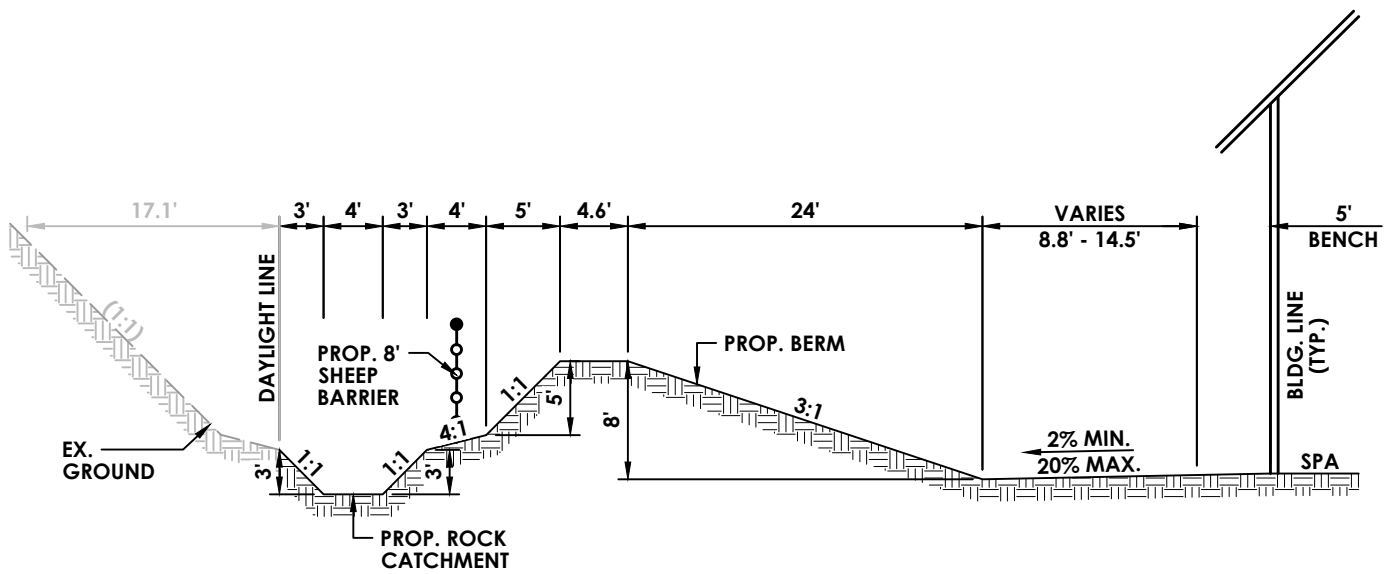
1. Information shown is conceptual only. Final alignment may be adjusted to accommodate ground features and other design and/or environmental considerations.
2. Perimeter Wall & Sheep Barrier as approved by City of La Quinta.
3. Sheep barrier to consist of 8' high fencing as shown in approved CVCC "PBS Barrier Project" (see Figure XX) or equivalent combination of 6' CMU and 2' decorative wrought iron or tubular steel view fence as appropriate.
4. See Table 2.8-1 for plant restrictions.

Source: MSA Consulting, Inc.

Exhibit Date: June 27, 2023

**CONCEPTUAL PBS BARRIER PLAN**

**FIGURE 2.8-7**



Source: MSA Consulting, Inc.

Exhibit Date: July 21, 2022

**TYPICAL PBS FENCE CROSS SECTION**

**FIGURE 14**



Source: CVCC Peninsular Bighorn Sheep Barrier Project

Exhibit Date: July 21, 2022

## REPRESENTATIVE PBS FENCE PHOTOS

FIGURE 15A  
PAGE 38



Fence Type: Welded Steel



Fence Type: Tubular Steel



Fence Type: Chain Link



Fence Type: Chain Link

Source: CVCC Peninsular Bighorn Sheep Barrier Project

Exhibit Date: July 21, 2022

## REPRESENTATIVE PBS FENCE PHOTOS

FIGURE 15B  
PAGE 39

# 3 Zoning and Development Regulations

---

## 3.1 SPECIFIC PLAN OVERLAY DISTRICTS

**A. Purpose.** To provide flexible regulations via the specific plan process which allow the use of creative land planning and design techniques to create master-planned developments incorporating coordinated building design, integrated greenbelts, private recreation facilities, emphasizing a separation of pedestrian and vehicular traffic, and an overall increase in recreational amenity.

The regulations presented herein are pursuant to Article 8B Authority and Scope of Specific Plans of the State Planning and Zoning Law of the Government Code, Section 65000 et seq and are in compliance with the California Environmental Quality Act (CEQA) and amend Chapter 9 of the City of La Quinta Zoning Code (9.60.290).

The specific plan overlay district allows variations in tourist commercial land uses as provided by Section 9.40.030 (per General Plan Policy 2-1.1.9). Specific plan densities, development standards and other features will be made consistent with the General Plan by adoption of this Specific Plan.

**Permitted Uses.** The Specific Plan 03-067 delineates the permitted uses within the plan area boundaries defined within Planning Area I through Planning Area VI. Uses are tailored to individual site locations within the Specific Plan 03-067 plan boundary, the existing street systems, topography, and other characteristics.

**Zoning Designation.** The Specific Plan 03-067 specifies overlay zoning adopted in conjunction with approval of the Specific Plan document. Upon approval, the Specific Plan 03-067 becomes an integral part of the zoning for the property within the plan boundary and, for the plan area, becomes the Official Zoning for the City of La Quinta. Property zoning shall consist of the base district symbol followed by the specific plan symbol in parentheses; for example, Low Density Residential - LDR would be noted as LDR(RSP).



## **Zoning and Development Regulation and Standards by Planning Area**

Zoning and Development Regulation and Standards are presented for Planning Area I through Planning Area VI as delineated in the Planning Area Exhibit and are presented in the following order:

### **Planning Area I**

Golf Course GC-(RSP)

USES AND STANDARDS

Description of Uses in Planning Area I

Zoning and Development Regulation and Standards

### **Planning Area II**

Low Density Residential LDR – (RSP)

USES AND STANDARDS

Description of Uses in Planning Area II

Zoning and Development Regulation and Standards

### **Planning Area III**

Low Density Residential LDR – (RSP)

USES AND STANDARDS

Description of Uses in Planning Area III

Zoning and Development Regulation and Standards

### **Planning Area IV**

Golf Course GC – (RSP)

USES AND STANDARDS

Description of Uses in Planning Area IV

Zoning and Development Regulation and Standards

### **Planning Area V**

Neighborhood Commercial NC– (RSP)

USES AND STANDARDS

Description of Uses in Planning Area V

Zoning and Development Regulation and Standards

### **Planning Area VI**

Golf Course GC – (RSP)

USES AND STANDARDS

Description of Uses in Planning Area VI

Zoning and Development Regulation and Standards

### **3.1.1 Planning Area I**

#### **GOLF COURSE-GC – (RSP)**

##### **Description of Uses in Planning Area I**

The following section establishes the permitted land use and development standards for property designated as GC within Planning Area I as depicted on the Land Use Plan. Golf Supporting Use and Facilities address all land within Planning Area I.

Within the overall plan boundary, Planning Area I proposed 11 acres development uses and standards for the Specific Plan 03-067 Golf and Recreation Club, resident and guest serving recreation amenities and supporting uses.

A Golf Course Residential Specific Plan GC-(RSP) overlay for this project area is proposed to address land use within Planning Area I with development regulation and criteria presented herein.

Planning Area I of the Specific Plan 03-067 establishes standards for the location and development of recreation amenities consistent with the resort oriented nature of the project and projected trends in golf supporting facilities to serve the two 18 hole courses of Specific Plan 03-067.

**A. Purpose and Intent.** To provide for the development and regulation of a range of specialized resident and guest serving uses oriented to Golf and Tennis Club, resident and guest serving recreation center and supporting uses, located in areas designated within Planning Area I in the Specific Plan.

**B. Permitted Uses.** Permitted uses for land designated GC on the Land Use Plan and/or Proposed Zoning exhibits as GC-(RSP) includes all currently existing allowable uses delineated in the Golf Course district delineated in the La Quinta Zoning ordinance and as specified within this Specific Plan.

**C. Temporary & Interim Uses.** Temporary or recurring outdoor event staging facilities and related uses serving the use and on-site construction and site guard offices including relocatable buildings. Temporary golf house, sales and marketing buildings and offices are allowed.

**D. Accessory Uses.** Resort recreation and stage areas, and maintenance facilities and sites. Signs, fences and walls, subject to the design criteria set forth in this Specific Plan document. Satellite dish and other antennas, subject to this Specific Plan.

**E. Other Allowable Uses.** Water wells and pumping stations, water tanks and reservoirs, public flood control facilities and devices as necessary to facilitate the CVWD or developer in water management and conservation.

**F. Allowable Site Coverage.** As specified herein.

**G. Development Standards.** The following development standards apply to property proposed

For development designated on the Land Use Plan and/or Proposed Zoning exhibits as GC – (RSP) and as described within the text of this Specific Plan. Standards are established for all buildings, structures and uses within Planning Area I.

**BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	35 ft.*+
Max. No. of Stories	2
Min. Front Yard Setback from:	
Street or Parking Stall Curb	8 ft.
Pedestrian Circulation Walks	5 ft.
Garage/Carport Setback	5 ft.
Min. Total Side Yard Setback	10 ft.**
Min. Interior/Exterior Side Yard Setbacks	5 ft.
Max. Allowable Wall Height	10 ft.***
Max. Parking Required	1 space/250sf****

+Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.  
 \*Not including chimney projections, bell towers, spires, etc.  
 \*\*AC Units, trellis elements, pools, and spas are allowed to encroach into side and rear setback areas.  
 \*\*\*2' of the 10' ht. may be retaining with 8' freestanding.  
 \*\*\*\*The area (sf) of the cart garage will not be included in the parking requirement calculation.

The following uses are permitted in Planning Area I.

1. *Recreation Uses*  
 Outdoor lawn and recreation uses.  
 Golf and Tennis clubs or complexes.  
 Health and fitness clubs & Spas.  
 Golf course & turf/landscape areas.  
 Live entertainment as an accessory use to a “one-time” event.
2. *Semi-Public Uses*  
 Museum uses.  
 Parks, play fields, botanical garden uses, and passive and active open space area.  
 Bicycle, cart, and pedestrian trails and storage facilities.  
 Swimming pools and spas.
3. *Lodging Uses*  
 Not allowed
4. *Accessory Uses*  
 Private parking lots, carports and open-air parking stalls as an accessory use to Residential or Open Space uses.  
 Signs in accordance with this Specific Plan.  
 Antennas and satellite dishes in accordance with this Specific Plan.

5. *Temporary & Interim Uses*

\*\* Interim event parking lots for events anticipated to extend over three or more days of use.  
Temporary outdoor event staging facilities.

\*\*Temporary outdoor event staging facilities anticipated to extend over three or more days of use.

\*\*Construction and site guard offices in relocatable buildings.

\* A single asterisk indicates an allowable use *requiring approval of a Conditional Use Permit from the La Quinta Planning Commission.*

\*\* A double asterisk indicates an allowable use on a temporary basis *requiring approval from the La Quinta Community Development Director.*

**OPEN SPACE LAND USE**

Open Space land in Planning Area I is defined by the areas adjacent to the recreation club amenities. Criteria related to development of the open space surrounding recreation club facilities is presented and allowable in all areas of Planning Area identified. The following development standards apply to the construction of club/recreation facility buildings for supporting structures within the golf course zone on property designated as GC - (RSP) on the Land Use Plan.

**ANCILLARY BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	28 ft.**†
Max. No. of Stories	1
Min. Setback from:	
Street or Parking Stall Curb	2 ft.
Pedestrian Circulation Walks	2 ft.
Structure Setback	5 ft.
Min. Building to Building Setback	5 ft.
Min. Interior/Exterior Side Yard Setbacks to adjacent lot	10 ft.
Maximum Allowable Screen Wall Height	10 ft.

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.

\*Not including flagpoles, chimney projections, bell towers, spires, or building projections that are nonessential to the functional space of the commercial building (i.e. bell towers etc.)

### **3.1.2 Planning Area II**

#### **RESIDENTIAL SPECIFIC PLAN RL-(RSP) USES AND STANDARDS**

##### **Description of Uses in Planning Area II**

Planning Area II encompasses development uses and standards for the Specific Plan 03-067 Villas and Casitas as well as ancillary supporting recreational uses and areas. This Planning Area is located centrally within the eastern half of the project site and encompassed 16 acres of land.

Planning Area II of the Land Use Plan proposed, within its boundaries, one underlying zone, Low Density Residential LDR – (RSP).

A Residential Specific Plan (RSP) overlay for Planning Area II is proposed to address residential supporting uses land use within Planning Area II with development regulation and criteria presented herein. The development criteria for open space, passive, and active recreation areas and other uses is also delineated for Planning Area II herein.

#### **RESIDENTIAL SPECIFIC PLAN (RSP) USES AND STANDARDS**

The following section delineates the permitted land use and development standards for property designated as Low Density Residential Specific Plan LDR - (RSP) on the Land Use Plan, within Planning Area II.

- A. Purpose and Intent.** To provide for the development and regulation of a range of specialized residential uses oriented to Golf club and resort lifestyle activity, located in areas designated within Planning Area II in the Specific Plan. Representative land use include Residential ownership, short term and long term rentals, and leasing uses as well as supporting open space and recreational use.
- B. Permitted Uses.** Permitted uses for land designated LDR - (RSP) on the Land Use Plan and/or Proposed Zoning exhibits as LDR - (RSP) includes all currently existing residential serving uses and allowable uses delineated in the Low Density Residential district description of the La Quinta Zoning ordinance and as specified herein.
- C. Temporary & Interim Uses.** Temporary or recurring outdoor event staging facilities and related uses serving the Residential use and on-site construction and site guard offices including relocatable buildings. Temporary sales and marketing buildings and offices may be allowed.
- D. Accessory Uses.** Recreation and staging areas for recreation events, maintenance facilities and sites. Signs, fences and walls, subject to the design criteria set forth in this Specific Plan document. Satellite dish and other antennas, subject to this Specific Plan.
- E. Other Allowable Uses.** Water wells and pumping stations, water tanks and reservoirs, public flood control facilities and devices as necessary to facilitate the CVWD or developer in water management and conservation.

**E. Development Standards.** The following development standards apply to property proposed for development designated on the Land Use Plan and/or Proposed Zoning exhibits as Low Density Residential LDR – (RSP) and as described within the text of this Specific Plan. Standards are established for Low Density Residential LDR – (RSP) buildings, structures and uses within Planning Area II.

**Residential Detached and Attached Development Standards**

These standards apply to all land within Planning Area II as described within the text and graphics of this Specific Plan.

**BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	28 ft.*†
Max. No. of Stories	2
Min. Livable Floor Area Per Unit	1500 sq/ft.
Min. Front Yard Setback from:	
Street or Parking Stall Curb	10 ft.
Pedestrian Circulation Walks	5 ft.
Garage/Carport Setback	5 ft.
Min. Total Side Yard Setback	10 ft.**†
Min. Interior/Exterior Side Yard Setbacks	0 ft.**†
Max. Allowable Wall Height	8 ft.***.
Max. Parking Required	Per Current Code

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.

\*Not including chimney projections, bell towers, spires, etc.

\*\* AC Units, trellis elements, pools, and spas are allowed to encroach into side and rear setback areas.

\*\*\* 2' of the 8' ht. may be retaining with 6' freestanding.

The following uses are permitted in Planning Area II.

1. *Recreation Uses*  
 Outdoor lawn and recreation uses.  
 Pool/spa and water recreation uses.  
 Live entertainment as an accessory use to a "one-time" event.
2. *Semi-Public Uses*  
 Parks, play fields, botanical garden uses, and passive and active open space area.  
 Bicycle, cart, and pedestrian trails.  
 Swimming pools and spas.
3. *Lodging Uses*  
 Residential use as delineated within this 3.1.2 herein.

4. *Accessory Uses*  
 Private parking lots, carports and open-air parking stalls as an accessory use to residential uses.  
 Signs in accordance with this Specific Plan.  
 Antennas and satellite dishes in accordance with this Specific Plan.
  
5. *Temporary & Interim Uses*  
*Sales offices, construction and site guard offices in relocatable or modular buildings.\*\**  
*Interim event parking lots for events anticipated to extend over three or more days of use.\*\**  
*Temporary outdoor event staging facilities.*  
*Temporary outdoor event staging facilities anticipated to extend over three or more days of use.\*\**

\* A single asterisk indicates an allowable use *requiring approval of a Conditional Use Permit from the La Quinta Planning Commission.*

\*\* A double asterisk indicates an allowable use on a temporary basis *requiring approval from the La Quinta Community Development Director.*

#### **OPEN SPACE LAND USE**

Open Space land in Planning Area II is defined by the areas adjacent to the residential units. Amenity and supporting facilities are located on adjacent fingers of greenbelt within the development plan and may be pools, fountains, spas, etc. Development criteria is defined herein. The following development standards apply to the construction of buildings for supporting residential unit and recreational features (such as satellite pool buildings) on property designated as Low Density Residential LDR -- (RSP) on the Land Use Plan.

---

#### **ANCILLARY BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	28 ft.*†
Max. No. of Stories	1
Min. Setback from:	
Street or Parking Stall Curb	2 ft.
Pedestrian Circulation Walks	2 ft.
Structure Setback	5 ft.
Min. Building to Building Setback	5 ft.
Min. Interior/Exterior Side Yard Setbacks to adjacent lot	10 ft.
Maximum Allowable Screen Wall Height	10 ft.

---

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.

\*Not including flagpoles, chimney projections, bell towers, spires, or building projections that are nonessential to the functional space of the commercial building (i.e. bell towers etc.)

---

### **3.1.3 Planning Area III**

#### **RESIDENTIAL SPECIFIC PLAN LDR-(RSP) USES AND STANDARDS** *Description of Uses in Planning Area III*

Within the overall plan boundary, Planning Area III encompasses development uses and standards for the Coral Mountain proposed residential grounds as well as ancillary supporting recreational uses and areas. This Planning Area is located throughout the project site and encompasses 424.1 acres.

Planning Area III of the Land Use Plan proposed, within its boundaries, one underlying zone, Low Density Residential LDR – (RSP).

A Residential Specific Plan LDR-(RSP) overlay for Planning Area III is proposed to address residential supporting uses land use within Planning Area III with development regulation and criteria presented herein. The development criteria for open space, passive, and active recreation areas and other uses is delineated for Planning Area III herein.

#### **RESIDENTIAL SPECIFIC PLAN (RSP) USES AND STANDARDS**

The following section delineates the permitted land use and development standards for property designated as Low Density Residential Specific Plan LDR - (RSP) on the Land Use Plan, within Planning Area III.

**A. Purpose and Intent.** To provide for the development and regulation of a range of specialized residential uses oriented to golf club and resort lifestyle activity, located in areas designated within Planning Area III in the Specific Plan. Representative land use include residential ownership, short term and long term rentals, and leasing uses as well as supporting open space and recreational use.

**B. Permitted Uses.** Permitted uses for land designated LDR - (RSP) on the Land Use Plan and/or Proposed Zoning exhibits as LDR - (RSP) includes all currently existing residential serving uses and allowable uses delineated in the Low Density Residential district description of the La Quinta Zoning ordinance and as specified herein. Sales and marketing buildings and offices are allowed.

**C. Temporary & Interim Uses.** Temporary or recurring outdoor event staging facilities and related uses serving the residential use and on-site construction and site guard offices including relocatable buildings.

**D. Accessory Uses.** Recreation and staging areas for recreation events, maintenance facilities and sites. Signs, fences and walls, subject to the design criteria set forth in this Specific Plan document. Satellite dish and other antennas, subject to this Specific Plan.

**E. Other Allowable Uses.** Water wells and pumping stations, water tanks and reservoirs, public flood control facilities and devices as necessary to facilitate the CVWD or developer in water management and conservation.



F. **Development Standards.** The following development standards apply to property proposed for development designated on the Land Use Plan and/or Proposed Zoning exhibits as Low Density Residential LDR – (RSP) and as described within the text of this Specific Plan. Standards are established for Low Density Residential LDR – (RSP) buildings, structures and uses within Planning Area III.

**Residential Detached and Attached Development Standards**

These standards apply to all land within Planning Area III as described within the text and graphics of this Specific Plan.

**BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height (Residence/Clubhouse)	28/ 35 ft.*†
Max. No. of Stories	2
Min. Livable Floor Area Per Unit	1500 sq/ft.
Min. Front Yard Setback from:	
Street or Parking Stall Curb	10 ft.
Pedestrian Circulation Walks	5 ft.
Garage/Carport Setback	5 ft.
Min. Total Side Yard Setback	10 ft.**
Min. Interior/Exterior Side Yard Setbacks	5 ft.
Max. Allowable Wall Height	8 ft.***
Max. Parking Required	Per Current Code

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58. Golf clubhouse height allowed up to 35"

\*Not including chimney projections, bell towers, spires, etc.

\*\* AC Units, trellis elements, pools, and spas are allowed to encroach into side and rear setback areas.

\*\*\* 2' of the 8' ht. may be retaining with 6' freestanding.

The following uses are permitted in Planning Area III.

1. *Recreation Uses*  
 Outdoor lawn and recreation uses.  
**Clubhouse, fitness center, and related uses**  
 Live entertainment as an accessory use to a "one-time" event.
2. *Semi-Public Uses*  
 Parks, play fields, botanical garden uses, and passive and active open space area.  
 Bicycle, cart, and pedestrian trails.  
 Swimming pools and spas.
3. *Lodging Uses*  
 Residential use as delineated within this section 3.1.3.

4. *Accessory Uses*  
 Private parking lots, carports and open-air parking stalls as an accessory use to residential uses.  
 Signs in accordance with this Specific Plan.  
 Antennas and satellite dishes in accordance with this Specific Plan.  
 Golf maintenance yard and related facilities.
5. *Temporary & Interim Uses*  
 Sales offices, construction and site guard offices in relocatable or modular buildings.\*\*  
 Interim event parking lots for events anticipated to extend over three or more days of use.\*\*  
 Temporary outdoor event staging facilities.  
 Temporary outdoor event staging facilities anticipated to extend over three or more days of use.\*\*

\* A single asterisk indicates an allowable use requiring approval of a Conditional Use Permit from the La Quinta Planning Commission.

\*\* A double asterisk indicates an allowable use on a temporary basis requiring approval from the La Quinta Community Development Director.

#### **OPEN SPACE LAND USE**

Open Space land in Planning Area III is defined by the areas adjacent to the residential units. Amenity and supporting facilities are located on adjacent fingers of greenbelt within the development plan and may be pools, fountains, spas, etc. Development criteria is defined herein. The following development standards apply to the construction of buildings for supporting residential unit and recreational features (such as satellite pool buildings) on property designated as Low Density Residential LDR – (RSP) on the Land Use Plan.

---

#### **ANCILLARY BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	28 ft.*†
Max. No. of Stories	1
Min. Setback from:	
Street or Parking Stall Curb	2 ft.
Pedestrian Circulation Walks	2 ft.
Structure Setback	5 ft.
Min. Building to Building Setback	5 ft.
Min. Interior/Exterior Side Yard Setbacks to adjacent lot	10 ft.
Maximum Allowable Screen Wall Height	10 ft.

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.

\*Not including flagpoles, chimney projections, bell towers, spires, or building projections that are nonessential to the functional space of the commercial building (i.e. bell towers etc.)

### **3.1.4 Planning Area IV**

#### **GOLF COURSE GC-(RSP) USES AND STANDARDS**

##### **Description of Uses in Planning Area IV**

Within the overall plan boundary, Planning Area IV encompasses development uses and standards for the Specific Plan 03-067 proposed Golf Course maintenance facility as well as ancillary supporting golf uses. This 3 acre Planning Area is located at the intersection of Madison Street and Avenue 60 on the southern boundary of the project site.

Planning Area IV of the Land Use Plan presently has, within its boundaries, one underlying zone, GC – (RSP).

A Specific Plan (RSP) overlay for Planning Area IV is proposed to address golf course supporting uses land use within Planning Area IV with development regulation and criteria presented herein. The development criteria for other uses is delineated for Planning Area IV herein.

#### **RESIDENTIAL SPECIFIC PLAN (RSP) USES AND STANDARDS**

The following section delineates the permitted land use and development standards for property designated as Golf Course Specific Plan GC – (RSP) on the Land Use Plan, within Planning Area IV.

- A. Purpose and Intent.** To provide for the development and regulation of a range of specialized maintenance uses oriented to golf course maintenance activity, located in areas designated within Planning Area IV in the Specific Plan. Representative land use include golf and open space maintenance building use and supporting ancillary functions to that use.
- B. Permitted Uses.** Permitted uses for land designated GC – (RSP) on the Land Use Plan and/or Proposed Zoning exhibits as GC – (RSP) includes all currently existing maintenance building serving uses and allowable uses delineated in the Golf Course district description of the La Quinta Zoning ordinance and as specified herein.
- C. Temporary & Interim Uses.** Temporary or recurring outdoor event staging facilities and related uses serving the maintenance use, and on-site construction and site guard offices, and relocatable buildings.
- D. Accessory Uses.** Fuel and supply storage incidental to the operations of the maintenance facilities and sites. Signs, fences and walls, subject to the design criteria set forth in this Specific Plan document as as required by law. Satellite dish and other antennas, subject to this Specific Plan.
- E. Other Allowable Uses.** Water wells and pumping stations, water tanks and reservoirs, public flood control facilities and devices as necessary to facilitate the CVWD or developer in water management and conservation.
- F. Development Standards.** The following development standards apply to property proposed for development designated on the Land Use Plan and/or Proposed Zoning exhibits as Golf Course GC – (RSP) and as described within the text of this Specific Plan. Standards are established for Golf Course GC – (RSP) buildings, structures and uses within Planning Area IV.

## BUILDING DEVELOPMENT STANDARDS

ITEM	QUANTITY
Max. Building Height	28 ft. *†
Max. No. of Stories	1
Min. Front Yard Setback from:	
Street or Parking Stall Curb	8 ft.
Pedestrian Circulation Walks	5 ft.
Garage/Carport Setback	5 ft.
Min. Total Side Yard Setback	10 ft. **
Min. Interior/Exterior Side Yard Setbacks	5 ft.
Max. Allowable Wall Height	8 ft. ***
Max. Parking Required	Per Current Code

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.

\*Not including chimney projections, bell towers, spires, etc.

\*\* AC Units, trellis elements, pools, and spas are allowed to encroach into side and rear setback areas.

\*\*\*2' of the 8' ht. may be retaining with 6' freestanding.

The following uses are permitted in Planning Area IV.

1. *Recreation Uses*  
Outdoor lawn and recreation uses.
2. *Semi-Public Uses*  
Maintenance building uses, and passive and active open space area.  
Swimming pools and spas.
3. *Special Uses*  
Fuel storage, fertilizer storage, and use incidental to maintenance building functions
4. *Accessory Uses*  
Private parking lots, carports and open-air parking stalls as an accessory use to maintenance building uses.  
Signs in accordance with this Specific Plan.  
Antennas and satellite dishes in accordance with this Specific Plan.
5. *Temporary & Interim Uses*  
Site guard offices in relocatable or modular buildings. \*\*  
Interim event parking lots for events anticipated to extend over three or more days of use. \*\*  
Temporary outdoor event staging facilities.  
Temporary outdoor event staging facilities anticipated to extend over three or more days of use. \*\*

\* A single asterisk indicates an allowable use *requiring approval of a Conditional Use Permit from the La Quinta Planning Commission.*

\*\* A double asterisk indicates an allowable use on a temporary basis *requiring approval from the La Quinta Community Development Director.*

Specific Plan 03-067

3.13

### **3.1.5 Planning Area V**

#### **NEIGHBORHOOD COMMERCIAL NC-(RSP) USES AND STANDARDS** **Description of Uses in Planning Area V**

Within the overall plan boundary, Planning Area V encompasses development uses and standards for the Specific Plan 03-067 Neighborhood Commercial center as well as ancillary supporting uses. This Planning Area is located at the intersection of Madison Street and Avenue 58 on the northern boundary of the project site.

Planning Area V of the Land Use Plan proposed, within its boundaries, one underlying zone, Neighborhood Commercial NC-(RSP) on 10 acres of land.

Permitted uses in the NC Zoning District will combine essential day-to-day neighborhood goods and services, tourism and visitor-based retail restaurant and limited entertainment opportunities, and facilities necessary for the operational demands of such uses. The following uses are permitted in Planning Area V with review of development proposals generally conforming to this Specific Plan and may require submittal of a Site Development Permit, Temporary Use Permit, or other long or short term approval package at the discretion of the Community Development Department.

#### **NEIGHBORHOOD COMMERCIAL NC - (RSP) USES AND STANDARDS**

The following section delineates the permitted land use and development standards for property designated as Neighborhood Commercial NC-(RSP) on the Land Use Plan, within Planning Area V.

**A. Purpose and Intent.** To provide for the development and regulation of a range of specialized neighborhood serving commercial and retail uses oriented to Golf club and resort lifestyle activity, located in areas designated within Planning Area V in the Specific Plan. Representative land use includes neighborhood serving commercial and retail use and supporting ancillary functions to those uses.

**B. Permitted Uses.** Permitted uses for land designated Neighborhood Commercial NC-(RSP) on the Land Use Plan and/or Proposed Zoning exhibits as Neighborhood Commercial NC-(RSP) includes all currently existing maintenance building serving uses and allowable uses delineated in the Golf Course district description of the La Quinta Zoning ordinance and as specified herein.

**C. Temporary & Interim Uses.** Temporary or recurring outdoor event staging facilities and related uses serving the Commercial use, on-site construction and site guard offices and relocatable buildings. Temporary sales and marketing buildings and offices are allowed.

**D. Accessory Uses.** Signs, fences and walls, subject to the design criteria set forth in this Specific Plan document as required by law. Satellite dish and other antennas, subject to this Specific Plan.

**E. Other Allowable Uses.** Water wells and pumping stations, water tanks and reservoirs, public flood control facilities and devices as necessary to facilitate the CVWD or developer in water management and conservation.

**F. Development Standards.** The following development standards apply to property proposed for development designated on the Land Use Plan and/or Proposed Zoning exhibits as Golf Course Neighborhood Commercial NC-(RSP) and as described within the text of this Specific Plan. Standards are established for Neighborhood Commercial NC – (RSP) buildings, structures and uses within Planning Area V.

### **Neighborhood Commercial and Development Standards**

These standards apply to all land within Planning Area V as described within the text and graphics of this Specific Plan.

---

#### **BUILDING DEVELOPMENT STANDARDS**

<b>ITEM</b>	<b>QUANTITIES</b>
Maximum Structure Height	35 ft.*
Maximum Number of Stories	2
Minimum Front Setback	10'
Minimum Rear Setback	10'
Minimum Parking	1 /250' GLA
Maximum Lot Coverage (F.A.R.)	.25**
Minimum Building Setback to Avenue 58	25 ft.
Minimum Building Setback to Madison Street	25 ft.
Minimum Interior/Exterior Side Yard Setbacks	5/10 ft.
Maximum Wall Height	10 ft.

---

\*Architectural and roof projections not providing habitable or otherwise unusable space, such as chimneys, spires, finials, and similar features shall be permitted to extend up to ten feet above the maximum structure height.

\*\* Maximum lot coverage for the West Tract shall be limited to 60,000 sf.

The following uses are permitted in of Planning Area V.

1. **Retail Uses.** Retail merchandise sales of limited goods (goods that can be carried out by the customer), such as antiques, appliances, bicycles, wholesale and/or retail foods, newspaper and magazines, tobacco products, kitchen and bath shops, video and audio equipment, clothing, pets and pet supplies, office equipment and supplies, party and/or costume rentals, sporting goods, home furnishings, hardware and home improvement items, and other related items.

2. **Public Uses.** Restaurants and prepared food service facilities including restaurants, delicatessen, tea, coffee and ice cream shops, pizzerias, and similar uses. Prepared food sold specifically for on-site consumption, with indoor/outdoor seating. Such uses include fine dining and other low to medium turnover restaurant ; cocktail lounges, dinner clubs, sports bar/lounge, bar/grill, night clubs and similar uses, with alcohol sales for on-site consumption only, along with live, recorded or other entertainment in or outdoors such as music and/or dancing, karaoke, arcade games, pool, billiard or shuffleboard tables, etc.

3. *Special Uses.* Professional service offices providing limited sales, such as medical, dental, veterinary clinic, dietician, optician, catering, attorney, real estate, banking, mortgage broker, social and community service offices, property management, financial services, beautician, barber, reproduction service, tailor, cleaners and laundry, postal services, shoe, watch, jewelry and bicycle repair, and similar uses. Offices with larger scale service aspects, such as limousine and auto rental. Indoor or outdoor professional art studios, displays and/or galleries, for all artistic endeavors and production, to include dance, painting, sculpting, ceramics, jewelry, glass blowing, photography, handmade furniture, stone cutting, and similar activities. There may be sales, presentations and displays or demonstrations to the public.
  
4. *Accessory Uses*  
 Private parking lots, carports and open-air parking stalls as an accessory use to commercial building uses.  
 Signs in accordance with this Specific Plan.  
**Antennas and satellite dishes in accordance with this Specific Plan.**
  
5. *Temporary & Interim Uses*  
 Site guard offices in relocatable or modular buildings. \*\*  
 Interim event parking lots for events anticipated to extend over three or more days of use. \*\*  
 Temporary outdoor event staging facilities.  
 Temporary outdoor event staging facilities anticipated to extend over three or more days of use. \*\*
  
6. *Other Allowable Use*  
 Public indoor assembly/entertainment facilities, such as auditoriums, theaters, dinner theaters, conference center, gymnasium facilities, concert halls and related use. Indoor facilities for education, training, self-help and improvement, hobbies, or vocational purpose, both public and private. These may be located in any facilities Indoor/outdoor cultural, historic and similar displays and galleries for all types of artifacts and/or artistic media, such as museums, auction houses and consignment room. Such uses may include sale of display art pieces.

\* A single asterisk indicates an allowable use *requiring approval of a Conditional Use Permit from the La Quinta Planning Commission.*

\*\* A double asterisk indicates an allowable use on a temporary basis *requiring approval from the La Quinta Community Development Director.*

The permitted uses in Planning Area V do not preclude other similar uses which are compatible with the specifically identified uses and otherwise meet the criteria for this Specific Plan and the currently approved Neighborhood Commercial District within the La Quinta Zoning ordinance.

Any determination on a proposed use whether listed or unlisted herein may be either internally reviewed by the Community Development Director or Planning Manager or referred to the Planning Commission as a non-hearing item if the Community Development Director or Planning Manager determines on a case-by-case basis that the public interest would be better served by such referral.

### **3.1.6 Planning Area VI**

#### **Golf Course GC-(RSP) USES AND STANDARDS**

##### **Description of Uses in Planning Area VI**

Within the overall plan boundary, Planning Area VI encompasses 421 acres of development for the Specific Plan 03-067 proposed Golf Course as well as ancillary supporting uses. This Planning Area is located throughout the site.

Planning Area VI of the Land Use Plan presently addresses 421 acres within its boundaries, one underlying zone, GC – (RSP).

A Specific Plan (RSP) overlay for Planning Area VI is proposed to address golf course supporting uses land use within Planning Area VI with development regulation and criteria presented herein. The development criteria for other use is delineated for Planning Area VI herein.

#### **RESIDENTIAL SPECIFIC PLAN (RSP) USES AND STANDARDS**

The following section delineates the permitted land use and development standards for property designated as Golf Course Specific Plan GC – (RSP) on the Land Use Plan, within Planning Area VI.

- A. Purpose and Intent.** To provide for the development and regulation of a range of specialized golf and open space uses oriented to Golf club and resort recreation lifestyle and activity, located in areas designated within Planning Area VI in the Specific Plan. Representative land use include golf and open space use and supporting recreation functions to that use.
- B. Permitted Uses.** Permitted uses for land designated GC – (RSP) on the Land Use Plan and/or Proposed Zoning exhibits as GC – (RSP) includes all currently existing golf serving uses and allowable uses delineated in the Golf Course district description of the La Quinta Zoning ordinance and as specified herein. Sales and marketing buildings and offices are allowed.
- C. Temporary & Interim Uses.** Temporary or recurring outdoor event staging facilities and related uses serving the golf course use and on-site construction and site guard offices including relocatable buildings.
- D. Accessory Uses.** Limited food and beverage sales throughout the golf course area and accessory facilities (such as comfort stations and vending booths) to that use .
- E. Other Allowable Uses.** Water wells and pumping stations, water tanks and reservoirs, public flood control facilities and devices as necessary to facilitate the CVWD or developer in water management and conservation.
- F. Development Standards.** The following development standards apply to property proposed for development designated on the Land Use Plan and/or Proposed Zoning exhibits as Golf Course



GC – (RSP) and as described within the text of this Specific Plan. Standards are established for Golf Course LDR – (RSP) buildings, structures and uses within Planning Area VI.

**Golf Course Building Standards**

These standards apply to all land within Planning Area VI as described within the text and graphics of this Specific Plan.

---

**BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	28 ft.**†
Max. No. of Stories	2
Min. Front Yard Setback from:	
Street or Parking Stall Curb	8 ft.
Pedestrian Circulation Walks	5 ft.
Garage/Carport Setback	5 ft.
Min. Total Side Yard Setback	10 ft.**
Min. Interior/Exterior Side Yard Setbacks	5 ft.
Max. Allowable Wall Height	8 ft.***
Max. Parking Required	Per Current Ordinance

---

† Height is limited to 22' for a setback of 150' from R.O.W. on Madison & Avenue 58.

\*Not including chimney projections, bell towers, spires, etc.

\*\* AC Units, trellis elements, pools, and spas are allowed to encroach into side and rear setback areas.

\*\*\* 2' of the 8' ht. may be retaining with 6' freestanding.

---

The following uses are permitted in Planning Area VI.

1. *Recreation Uses*  
 Golf course use  
 Pool/spa and water recreation uses.
2. *Semi-Public Uses*  
 Maintenance building uses, and passive and active open space area.  
 Parking facilities for employees of the development.
3. *Special Uses*  
 Fuel storage, fertilizer storage, and use incidental to golf course operations
4. *Accessory Uses*  
 Private parking lots, carports and open-air parking stalls as an accessory use to maintenance building uses.  
 Signs in accordance with this Specific Plan.  
 Antennas and satellite dishes in accordance with this Specific Plan.
5. *Temporary & Interim Uses*  
 Site guard offices in relocatable or modular buildings.\*\*

Temporary outdoor event staging facilities related to golf operations  
 Temporary outdoor event staging facilities anticipated to extend over three or more days  
 of use.\*\*

\* A single asterisk indicates an allowable use *requiring approval of a Conditional Use Permit from the La Quinta Planning Commission.*

\*\* A double asterisk indicates an allowable use on a temporary basis *requiring approval from the La Quinta Community Development Director.*

**OPEN SPACE LAND USE**

Open Space land in Planning Area VI is defined by the areas adjacent to the Golf Course Supporting facilities are located on adjacent fingers of greenbelt within the development plan. The following development standards apply to the construction of buildings for supporting golf and residential features (such as restroom buildings) on property designated as Golf Course GC-(RSP) on the Land Use Plan.

**ANCILLARY BUILDING DEVELOPMENT STANDARDS**

ITEM	QUANTITY
Max. Building Height	14 ft.*
Max. No. of Stories	1
Min. Setback from:	
Street or Parking Stall Curb	2 ft.
Pedestrian Circulation Walks	2 ft.
Structure Setback	0 ft.
Min. Building to Building Setback	5 ft.
Min. Interior/Exterior Side Yard Setbacks to adjacent lot	0 ft.
Maximum Allowable Screen Wall Height	8 ft.

\*Not including building projections that are nonessential to the functional space of the building (i.e. bell towers etc.) which may extend an additional 10' in height.

## 3.2 SPECIFIC PLAN AMENDMENTS

Minor modifications to the approved Specific Plan 03-067 are allowed at the discretion of the Community Development Director or Designee. Future modifications to the Specific Plan 03-067 must be consistent with the purpose and intent of the current approved Coral Mountain Specific Plan Amendment .

### 3.2.1 Specific Plan Amendment Procedures

Minor modifications to the approved Specific Plan 03-067 are allowed at the discretion of the Community Development Director or designee.

**A. Changes That Do Not Require A Specific Plan Amendment.** As development within the Specific Plan 03-067 progresses, it may be demonstrated that certain detail changes are appropriate in refinement of the Specific Plan; therefore it is intended that the Specific Plan Document provide flexibility with respect to the interpretation of the details of project development as well as those items discussed in general terms in the Specific Plan. If and when it is determined that changes or adjustments are necessary or appropriate, these changes or adjustments shall be made as an administrative procedure approved by the Community Development Director or designee. After such administrative change has been approved, it shall be attached to the Specific Plan as an addendum, and may be further changed and amended from time to time as necessary. Any such administrative changes do not require a Specific Plan amendment process.

The following changes to the Specific Plan may be made without amending the Specific Plan 03-067:

- The transfer of dwelling units from one planning area to another within a single planning area while maintaining the maximum overall Specific Plan dwelling unit number of units.
- The addition of new information to the Specific Plan maps or text that do not change the effect of any regulation. The new information may include more detailed, site-specific information. If this information demonstrates that Planning Area boundaries are inaccurately designated, based upon the goals of the Specific Plan, said boundaries may be adjusted to reflect a more accurate depiction of on-site conditions, without requiring a Specific Plan Amendment. Adjustments to the golf corridors may be made resulting in a corresponding change to the adjacent development parcel without the requirement of a specific plan amendment.
- Changes to the community infrastructure such as drainage systems, roads, water and sewer systems, etc., which do not have the effect of increasing or decreasing capacity in the project area beyond the specified density range nor increase the backbone infrastructure construction or maintenance costs.

#### ***Changes That Require A Specific Plan Amendment.***

If it has been determined that the proposed change is not in conformance with the intent of the current Specific Plan approval, the Specific Plan may be amended in accordance with the procedures set forth in Chapter 9.240 of the City of La Quinta Zoning Code.

### 3.3 DENSITY TRANSFER PROVISIONS

The transfer of residential density from one Residential Planning Area to another Residential Planning Area within the Specific Plan 03-067 boundary is permitted based upon the provisions herein. Revisions to the Planning Area Statistical Summaries made in accordance with these provisions do not require an amendment to the specific Plan. Transfers of density may be approved to add or reduce the number of units within a given Residential Planning Area up to but not exceeding 25% of the Target Units for each Planning Area.

Residential density may be transferred from any Residential Planning Area allowing residential development to any other Residential Planning Area allowing residential development regardless of Planning Area location or intensity residential land use category. Within the Planning Area receiving the transferred density, the permitted density need not be evenly distributed to all subdivisions which comprise the "receiving" Planning Area. Application for Density Transfer shall be made in writing to the Community Development Director or designee and shall include the following:

Location of properties to be involved in the transfer including the Planning Area or other lot or district designations.

The number of units to be transferred from one planned area to another.

A calculation of acreage for each affected Planning Area showing the current number of allowable units, the proposed number of allowable units for the effected Planning Areas, and, if the transfer is approved, the increase and decrease (expressed as a percentage of the previous approval unit count).

The Community Development Director or designee shall approve the Density

Transfer if the following conditions are met:

The overall goals of the Specific Plan 03-067 as amended are maintained.

The full range of housing stock remains available.

Community facilities such as schools and parks can accommodate the additional units in the affected area.

Infrastructure facilities such as roads, sewer, and water can accommodate the additional units in the affected area.

proposed densities are compatible with existing City of La Quinta General Plan Land Use designations.

# 4 General Plan Consistency

---

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450 - 65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines and programs with the goals and policies set forth in the general plan.

The City of La Quinta General Plan contains the following elements: Land Use, Circulation, Open Space, Parks and Recreation, Environmental Conservation, Infrastructure and Public Services, Environmental Hazards, Air Quality and Housing. Each element of the General Plan contains a summary of key issues which direct and guide that element's goals and policies.

The summary of key issues is used in the Specific Plan 03-067 as the basis for evaluating the Specific Plan's consistency with the City's General Plan. Applicable key issues are stated below followed by a *statement of how the project's Specific Plan as amended conforms thereto*.

## 4.1 ANDALUSIA (EAST TRACT) GP CONSISTENCY

### 4.1.1 LAND USE ELEMENT

- Maintaining the City's low density residential character with a balance of supporting commercial and community facilities.
  - *The Land Use Plan of Specific Plan 03-067 designates the majority of the site as Low Density Residential as well as Open Space and Golf use. Supporting commercial Specific Plan in areas adjacent to existing supporting infrastructure.*
- The City enjoys a reputation as a desirable locale. The City's unique and attractive character stems from a combination of its environmental setting near the mountains, the "La Quinta" image...
  - *The Developer of the Specific Plan 03-067 Master Plan enjoys a foundation of hosting nationally recognized golf events capitalizing on, and reinforcing, the City's unique setting for championship golf recreation and the notoriety that comes with premier sporting event broadcasts worldwide.*
- As the Commercial development continues in the City, potential incompatibilities between land uses will need to be addressed. Visual, audible and odoriferous impacts will have to be addressed through design, buffering, screening and other mitigation techniques.
  - *Specific Plan 03-067 designates the majority of the site as Low Density Residential and championship golf amenities. Supporting and adjacent development is planned in a variety of heights and elevations in order to minimize the visual impact while providing greenbelt screens to negative off-property influences such as traffic noise and related impacts.*

- The trend of walled residential subdivisions has resulted in many types of perimeter wall treatments in the City. The design of these walls and other elements of the streetscape should be coordinated to create more of a continuous appearance throughout the entire community.
  - *The perimeter wall treatment suggested for Specific Plan 03-067 establishes a consistent theme via continuous plantings and wall treatments as envisioned by the City in this statement.*
- Maintain the City's low density residential character with a balance of supporting commercial and community facilities.
  - *The Land Use Plan of the Specific Plan 03-067 Specific Plan designates the majority of the site as Low Density Residential. Residential serving commercial development is planned within the Neighborhood Commercial land use of the Specific Plan.*
- Development should not be allowed on hillsides nor alluvial fan areas to protect the scenic resources of the City.
  - *The project boundary of Specific Plan 03-067 is outside of the pristine hillsides and alluvial fan areas and therefore generates no impact to these valuable resources.*

#### **4.1.2 CIRCULATION ELEMENT**

- Roadway classifications and design standards should be based on current estimates of build-out reflecting approved development projects.
  - *Development standards of perimeter roadways are established in the General Plan Circulation Element. Existing and proposed roadway improvements in and around the project boundary are based on current estimates of build-out and consistent with the goals and policies established in the Circulation Element of the General Plan.*
- Alternative circulation system improvements need to be developed to relieve traffic congestion along Washington Street.
  - *Specific Plan 03-067 abuts Madison and Jefferson Streets and takes primary and secondary access from these roadways. Impacts to Washington Street are minimal due to the distance from the project site.*
- Traffic impacts resulting from development should be identified through a mandatory traffic impact analysis process.
  - *Development projects at Specific Plan 03-067 are subject to this requirement established in the Development Review Process delineated in this Specific Plan document as amended.*
- Pedestrian and bicycle networks should be developed which link activity centers in order to facilitate recreational walking and biking and to establish non-automotive transportation as a viable alternative to driving.
  - *Internal golf cart, bicycle, and pedestrian access is incorporated in the Circulation Plan for Specific Plan 03-067 and is accommodated on the existing and planned roadway system.*

- The circulation system should be designed and maintained to encourage walking, bicycling and transit utilization as alternatives to automobile travel. Improvements to existing transit service should be considered, including provision of additional transit stops on major roadways and covered bus shelters at all existing and future stops.
  - *The development along the perimeter of Specific Plan 03-067 designates locations for transit stops and shelters. The internal circulation systems promotes the use of golf carts, pedestrian paths and shuttles as a means of minimizing vehicular traffic.*

### 4.1.3 OPEN SPACE ELEMENT

- Development on “dune” areas should be enhanced to accentuate the scenic, topographical and cultural resources of the City.
  - *Although no areas of typical dune landform exist within the amended Specific Plan boundary, the landscape concept designates the dune portions of Specific Plan 03-067 as a valuable resource to be integrated into the overall master plan of development in either landform mass and topography or in plant material theme. The Championship Golf Courses planned for construction will utilize varied and significant topography in an environmentally responsible manner to create dramatic scenic resources.*
- Open space should be defined to include hillside areas, alluvial fans, water courses, golf courses, and natural park areas. Natural, improved and unimproved types of open space should be included within the definition.
  - *Lakes and dramatic earthscaping are the predominant landscape theme throughout Specific Plan 03-067 landscape architecture as planned and will be integrated into the overall master plan grading concept.*
- As a link to the City’s cultural past, elements of existing citrus orchards, date palm groves and farming areas should be preserved.
  - *Specific Plan 03-067 will utilize the success of the Rancho La Quinta landscape concept which established Citrus “Groves” as a primary imaging theme in landscape architecture. Similarly, Date Palms will be used as the primary vertical statement at the entry points to the project as well as within the boulevard landscape theme.*
- Permitted land uses and standards for development in open space and watercourse areas should be identified.
  - *Development standards for Specific Plan 03-067 are delineated in Section 3, Zoning and Development Regulations, within this document for development in open space and water course areas.*

#### 4.1.4 PARK AND RECREATION ELEMENT

- Park and recreation uses should be located in proximity to residential uses to facilitate pedestrian access and should include the provision of appropriate facilities.
  - *The master plan for development within Specific Plan 03-067 has, as a primary focus, recreation amenities for golf, tennis, and passive walking within the project site.*
- An integrated bicycle network and well functioning pedestrian path system should be provided
  - *Bike paths are a passive use of the private roadway system within Specific Plan 03-067 with connections to the existing established network of bike paths on adjacent circulation links.*
- Sewage effluent should be utilized for large turf (i.e., golf course, active recreation) areas and drought tolerant plant species should be used to reduce the impact on the potable water supply of the City.
  - *When economically feasible, recycled water sources are envisioned as a source of irrigation water for the recreation elements of the plan area. Drought resistant plant material is a staple of the palette within the plan area.*

#### 4.1.5 ENVIRONMENTAL CONSERVATION ELEMENT

- Scenic corridors, vistas and view sheds of the Santa Rosa and Coral Reef Mountains, as well as views toward the San Geronio Pass, should be preserved and enhanced.
- Utility resources should be conserved utilizing a variety of feasible strategies.
  - *Recycled wastewater will be utilized at Specific Plan 03-067 to supplement irrigation demands once economically available to minimize water consumption.*
- The City should be protected from the adverse impacts of storm water runoff, including property damage as well as water quality.
  - *The golf courses are designed with basins within the corridors to provide storm water retention during flooding.*
- Permitted land uses and standards for development in open space and watercourse areas should be identified.
  - *Golf course use features the integration of watershed zones with open space and are designed within the corridors to provide storm water retention during flooding.*
- The quality and quantity of groundwater should be protected and maintained. Water conservation efforts should be maintained, expanded and implemented.
  - *Lakes within the golf course boundary provide for storage of run-off for use in irrigation.*



#### **4.1.6 INFRASTRUCTURE AND PUBLIC SERVICES ELEMENT**

- Utility resources should be conserved utilizing a variety of feasible strategies.
  - *All structures are built to City Zoning and Development Code and the uniform building code standards which implement a strategy of conservation of energy and resources.*
- Adequate levels of law enforcement, fire protection, health care services and facilities should be provided in reasonable proximity to City residents.
  - *The Specific Plan 03-067 project contributes to infrastructure fees to mitigate any perceived impact and provides additional security personnel thereby reducing the required manpower from the City's law enforcement services.*
- The recycling, reduction and reuse of waste generated in the City should be supported by the City.
  - *All structures are built to City Zoning and Development Code and the uniform building code standards which implement a strategy of conservation of energy and resources.*
- Frequent collection of solid waste and adequate disposal should be provided to keep the City clean and disease-free.
  - *The Specific Plan 03-067 project contributes to infrastructure fees to mitigate any perceived impact.*

#### **4.1.7 ENVIRONMENTAL HAZARDS ELEMENT**

- The standards for development should be carefully regulated to minimize structural damage and loss of life (from earthquakes), even though the City is located in a low intensity ground-shaking zone.
  - *All structures are built to City Zoning and Development Code and the uniform building code standards which implement a strategy of conservation of energy and resources.*
- The development of areas located within 100-year floodplain boundaries and not protected by existing storm water facilities should be addressed.
  - *All structures are built to City Zoning and Development Code and the uniform building code standards which implement a strategy of conservation of energy and resources.*
- Subsidence hazards for the eastern portion of the City due to its location within a region characterized by potential soil liquefaction during severe ground shaking should be reduced if possible.
  - *All structures are built to City Zoning and Development Code and the uniform building code standards which implement a strategy of conservation of energy and resources.*

- Noise mitigation should be considered with all development near arterial streets.
  - *Setbacks from adjacent arterials are required by City development regulation.*
  - *A noise study has been prepared for development adjacent to arterials and other development as required by the City of La Quinta Community Development Department.*
  
- The factors that contribute to the increased risk of fire hazard should be reduced to protect La Quinta citizens and structures from fire damage.
  - *All structures are built to City Zoning and Development Code and the uniform building code standards which implement a strategy of conservation of energy and resources.*

#### **4.1.8 AIR QUALITY ELEMENT**

- The stationary and mobile source of air quality impacts associated with new development should be addressed.
  - *An analysis of the Air Quality has been prepared in conjunction with the previous Specific Plan amendment #1. All perceived impacts associated with this project proposal will be mitigated to a level of insignificance.*
  
  - *The Applicant shall utilize blow sand and dust control measures in accordance with the Municipal Code and the Uniform Building Code and subject to the approval of the City Engineer. Particular care shall be exercised during periods of extreme wind activity.*
  
  - *An analysis of the Air Quality has been prepared in conjunction with the previous Specific Plan amendment #1. All perceived impacts associated with this project proposal will be mitigated to a level of insignificance.*
  
  - *At the time of submittal of tentative tract maps or plans for any zoning approval the Applicant shall demonstrate that adequate provision has been made for non-automotive means of transportation within the project site as a means of reducing dependence on private automobiles. This may include golf cart path systems, bicycle and pedestrian systems, and other similar systems consistent with the specific plan.*
  
  - *Specific project designs shall encourage the use of public transit by providing for bus stops as required by the Community Development Director and consistent with the requirements of local transit districts and the specific plan.*
  
  - *The Applicant shall encourage and support the use of Sunline van/bus service and Dial-A-Ride between the project site, local airports (e.g., Palm Springs, Thermal) and other regional land uses.*

## 4.2 CORAL MOUNTAIN CLUB (WEST TRACT) GP CONSISTENCY

Policy Analysis for the West side of the Project is based on the 2035 City of La Quinta General Plan.

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450 - 65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines and programs with the goals and policies set forth in the general plan. This section analyzes the consistency between this Specific Plan and the La Quinta General Plan 2035. The City of La Quinta General Plan 2035 contains the following elements: Land Use, Circulation, Livable Community, Economic Development, Parks, Recreation and Trails; Housing; Air Quality; Energy and Mineral Resources; Biological Resources; Cultural Resources; Water Resources; Open Space and Conservation; Noise; Soils and Geology; Flooding and Hydrology; and Hazardous Materials. Each element of the General Plan 2035 contains a summary of goals which reflect the City's values, aims, and aspirations. They also address the physical development of the City, the protection of people and property from man-made hazards, and the preservation of the City's assets.

This amendment to the La Quinta General Plan will facilitate a Specific Plan Amendment adjusting the amount and configuration of previously approved residential, golf course and commercial land uses within a private residential community. The amendment consistent with General Plan policy as outlined in the following sections. Each element's relevant goals are used in the Specific Plan as the basis for evaluating the Specific Plan's consistency with the City's General Plan 2035. Applicable goals are stated below followed by a statement of how the Specific Plan as amended conforms thereto.

### 4.2.1 LAND USE ELEMENT

- Land use compatibility throughout the City.
  - *The site components are not changing. They were and continue to be compatible with surrounding residential, open space, and neighborhood commercial uses that characterize other gated residential communities in the vicinity. The project is separated from adjacent uses by surrounding arterial streets and physical topographic barriers, such as Coral Mountain. Off-site development impacts are anticipated to be minimal.*
- High quality design that complements and enhances the City.
  - *The project includes detailed design guidelines in Section 2.8 to guide high-quality development throughout the project area. The high-quality design, amenities, and mix of land uses on the site will work to help create a high-quality residential project that will complement existing land uses in the area and enhance the character of the City.*
- A broad range of housing types and choices for all residents of the City.
  - *The project proposes high-quality housing of varying types and sizes with access to resort and recreational amenities, thus enhancing housing choice for potential buyers.*

- *The project allows for various housing products within the project. Planning Area III designated as Low Density Residential, anticipates detached or attached residential product types with densities up to 4 dwelling units per acre.*
- A balanced and varied economic base which provides a broad range of goods and services to the City's residents and the region.
  - *The project includes both neighborhood commercial land uses which will generate revenue and create employment opportunities. The proposed project would increase neighborhood commercial services in an underserved area.*

#### **4.2.2 CIRCULATION ELEMENT**

- A transportation and circulation network that efficiently, safely and economically moves people, vehicles, and goods using facilities that meet the current demands and projected needs of the City.
  - *The project proposes a private circulation system to provide safe and efficient passage for pedestrians and motorists throughout the site.*
  - *The project proposes to build out Madison Street, Ave 58 and Ave 60 to ultimate standards per the General Plan.*
- A circulation system that promotes and enhances transit, alternative vehicle, bicycle and pedestrian networks.
  - *The project proposes a private circulation system with low-speed, low-volume internal streets that will safely accommodate both vehicles and pedestrians.*

#### **4.2.3 LIVABLE COMMUNITY ELEMENT**

- A community that provides the best possible quality of life for all its residents.
  - *The project includes elements to address the goal of the Livable Community Element, which generally is intended to assist the City in developing a more united community through resource conservation, built environment enhancement, promotion of alternative forms of transportation, and improvement of community health. The project is consistent with this goal by promoting a high-quality mix of uses residential community that will greatly enhance the built environment, will promote walkability, and provide ample opportunities for active recreation.*

#### **4.2.4 ECONOMIC DEVELOPMENT ELEMENT**

- A balanced and varied economic base which provides fiscal stability to the City, and a broad range of goods and services to its residents and the region.

- *The project promotes a balanced and varied economic base for the City by accommodating a neighborhood commercial center. Additionally, the residential use will incrementally increase demand for commercial goods and services in the region, thus enhancing the economy.*
- The continued growth of the tourism and resort industries in the City.
  - *The project promotes the continued growth of the tourism and resort industries in La Quinta by creating a high quality residential community designed to accommodate short term vacation rentals to house new residents and visitors.*

#### **4.2.5 PARKS, RECREATION AND TRAILS ELEMENT**

- A comprehensive system of parks, and recreation facilities and services that meet the active and passive needs of all residents and visitors.
  - *The project designates areas set aside for golf course open space uses that will provide recreational opportunities for residents of the community.*

#### **4.2.6 HOUSING ELEMENT**

- Provide housing opportunities that meet the diverse needs of the City's existing and projected population.
  - *The project anticipates the development of residential housing at densities up to 4 dwelling units per acre, thus contributing to the City's market rate housing stock.*
- Conserve and improve the quality of existing La Quinta neighborhoods and individual properties.
  - *The project will complement the surrounding residential communities with neighborhood commercial, recreational open space, and residential uses that are consistent with the character of existing neighborhoods in the vicinity.*
- Provide a regulatory framework that facilitates and encourages energy and water conservation through sustainable site planning, project design, and green technologies and building materials.
  - *The project promotes water conservation through the use of drought tolerant plant materials and water efficient irrigation techniques. The project will comply with all City and water district regulations and building codes for water conservation, energy efficiency, and building standards. The project will also comply with all applicable green building requirements.*

#### **4.2.7 WATER RESOURCES ELEMENT**

- The efficient use and conservation of the City's water resources.
  - *The project promotes water conservation through the use of drought tolerant plant materials and water efficient irrigation techniques. The project will comply with all*

*City and Coachella Valley Water District regulations and building codes for water conservation.*

#### **4.2.8 OPEN SPACE AND CONSERVATION ELEMENT**

- Preservation, conservation and management of the City's open space lands and scenic resources for enhanced recreational, environmental and economic purposes.
  - *The project includes significant open space amenities. It retains the slopes of Coral Mountain without disturbance and includes a golf-based recreational amenity for use by community residents and guests. The project incorporates connections to the public sidewalk and public trail system for convenient walking, jogging, and biking activities.*

#### **4.2.9 NOISE ELEMENT**

- A healthful noise environment which complements the City's residential and resort character.
  - *The project establishes standard residential, golf, and neighborhood commercial uses with noise levels identical to existing gated resort communities in the area. All uses will be subject to the City's noise ordinance. Noise levels on Avenue 58 and Madison Street are not excessive and the project is buffered by a perimeter community wall.*