

# **Jefferson Square Specific Plan 2002-062 Amendment No. 3**

**Adopted XX X, 2024**

## **The City of La Quinta**

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## **Jefferson Square Amended Specific Plan**

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### **Previously Approved Versions**

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## **I. INTRODUCTION**

### **A. AUTHORITY AND SCOPE**

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a specific plan of development or specific plan amendment over a given piece of property. The Jefferson Square Specific Plan (“Specific Plan”) is consistent with this authority and is developed in accordance with the City of La Quinta (the “City”) Zoning Code, Chapter 9.240: Specific Plans. To approve the Specific Plan, City Council must make findings required by the City Zoning Code, Chapter 9.240: Specific Plans.

### **B. PURPOSE AND INTENT**

The City approved the Jefferson Square Specific Plan 2002-062 in 2004, followed by Amendment No. 1 in 2005 and finally Amendment No. 2 in 2008. Amendment No. 3 has been prepared to address the land use issues associated with future development of the Specific Plan area in sufficient detail to ensure that the Specific Plan area develops in a manner which is consistent with the General Plan; protects public health, safety, and general welfare; is compatible with zoning on adjacent properties; and is suitable and appropriate for the subject property. Ultimately the project seeks to provide the surrounding community with high quality and convenient commercial retail as well as multifamily housing opportunities. In both text and illustration, this document depicts the character and configuration of the various components comprising the Specific Plan and establishes a foundation document that will govern further development of the site. In this way, the Specific Plan will serve to implement the City of La Quinta General Plan by specifying appropriate land uses, intensity of use, and development standards which are consistent with General Plan goals, objectives, and policies. The Specific Plan is a flexible document, which allows minor modifications to accommodate minor changes to floor areas, tenant uses, or residential development standards, as described in Section VII. In cases where the zoning and development regulation is nonspecific within this document, the City’s Zoning Ordinance will apply. Amendment No. 3 supersedes all prior Specific Plan documents, including Specific Plan 2002-062, Amendment No. 1 and Amendment No. 2.

### **C. DOCUMENT ORGANIZATION**

Amendment No. 3 is organized into seven sections.

- Section I provides a regulatory context for the project and an overview of key project elements.
- Section II provides a context for project planning and design by briefly describing the project’s existing setting in terms of regulatory land use designations and surrounding land uses.
- Section III presents the primary master plan components of the Specific Plan.
- Section IV describes the development standards to which the project must adhere.
- Section V contains design guidelines with respect to landscaping and architecture to ensure that the project is of a high quality and is well integrated into the community’s character.
- Section VI discusses key operational guidelines for the project.
- Section VII outlines plan administration and implementation procedures.

## **D. PROJECT LOCATION**

From a regional perspective, the Specific Plan area is located in the Coachella Valley within the City of La Quinta as shown in Figure 1: Regional Location Map. As shown in Figure 2: Vicinity Map, the Specific Plan area is located at the southwest corner of Fred Waring Drive and Jefferson Street. The project site is bounded by a residential development to the north; a commercial retail center within the City of Indio to the east; a well site, City park area, and retention basin to the west; and single-family residential along the southern boundary of the site.

Amendment No. 3 divides the Specific Plan area into two planning areas, (i) Planning Area 1 (“PA1”) and (ii) Planning Area 2 (“PA2”) as illustrated in Figure 2: Vicinity Map. PA1 includes 5.17 acres of the northern portion of the Specific Plan area and is currently occupied by five retail buildings varying in size and totaling approximately 39,000 square feet (sq. ft.). Any future development in PA1 may require a subsequent Specific Plan Amendment, Site Development Permit (SDP) or Conditional Use Permit (CUP) subject to the PA1 Land Use & Development Regulations outlined in Section IV A. PA2 includes 5.10 acres in the southern portion of the Specific Plan area and except for completed roadway and parking improvements, remains undeveloped. PA2 improvements include a driveway along Jefferson Street, parking lot areas, stormwater management system, utility infrastructure, landscape improvements, and two pads. This Specific Plan Amendment would allow either multi-family or commercial development to occur in the future.



Figure I: Regional Location Map



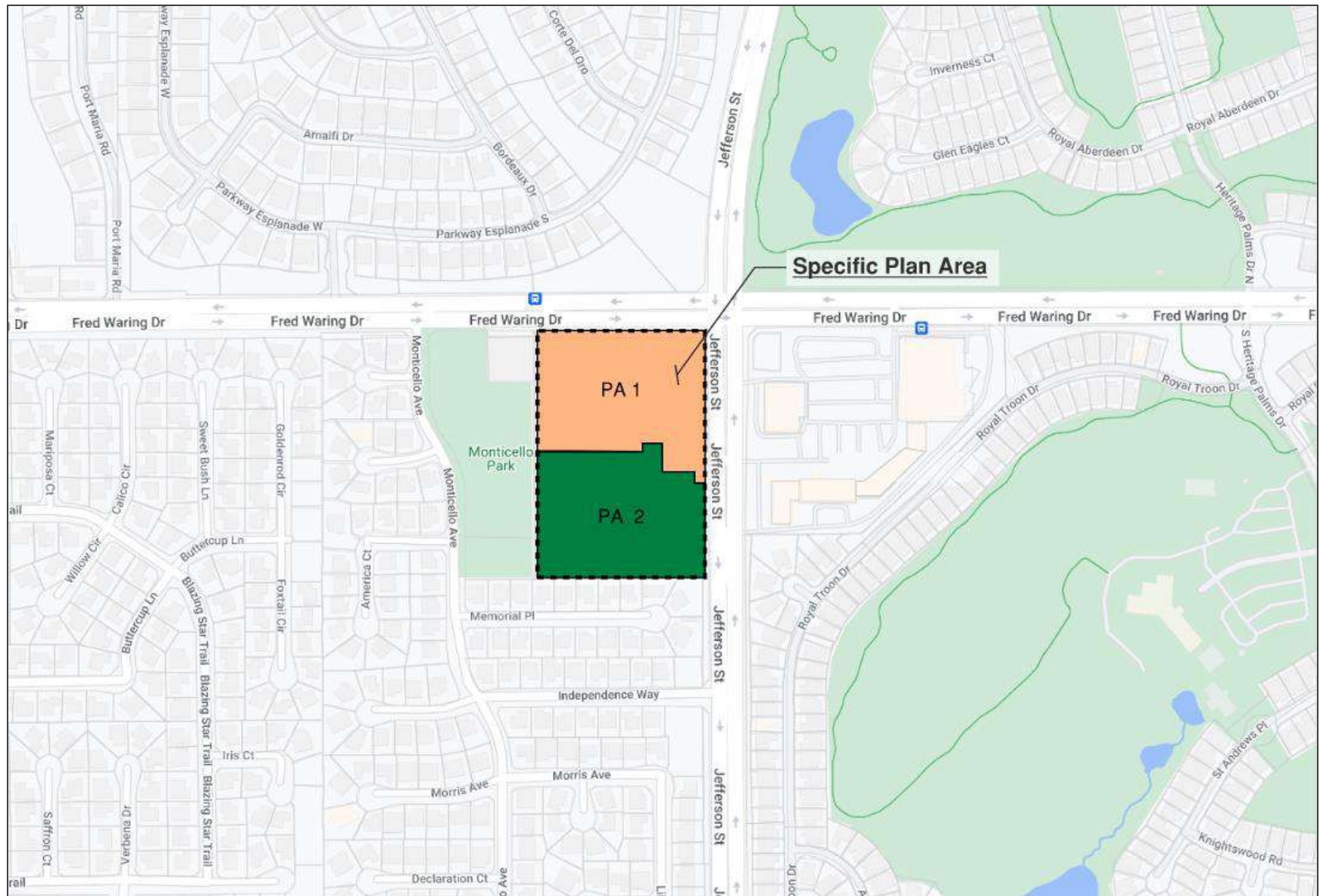
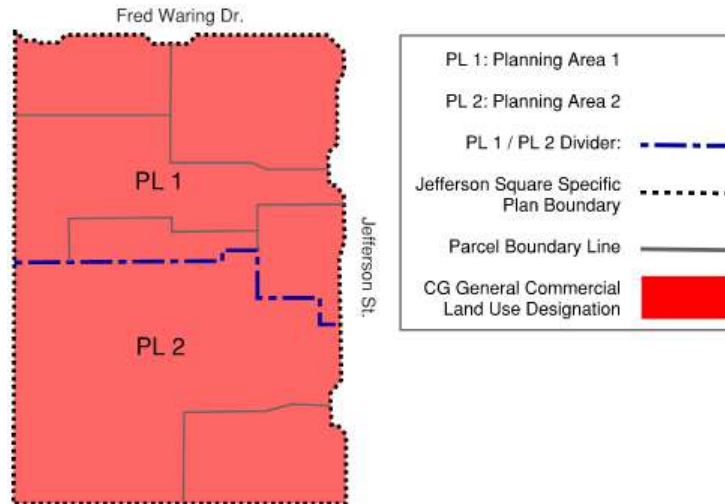


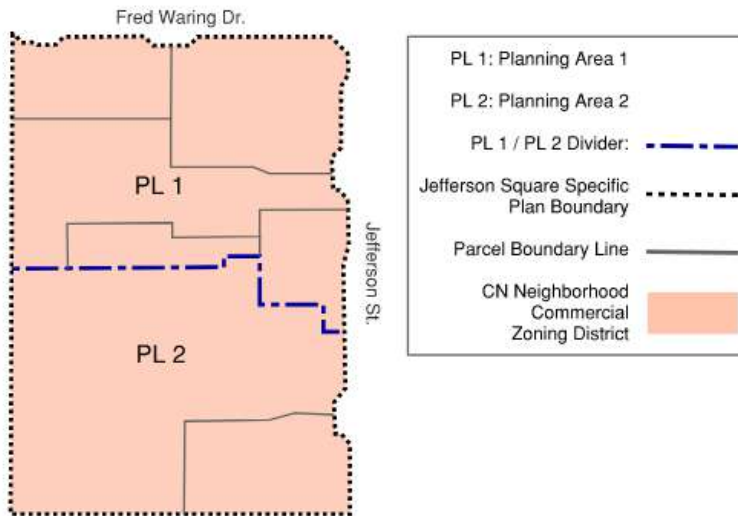
Figure 2: Vicinity Map

**E. LAND USE AND ZONING**

As shown in Figure 3: General Plan Land Use Designation, the 2035 General Plan Land Use Element designates the Specific Plan area as CG General Commercial.



**Figure 3: General Plan Land Use Designation**



**Figure 4: Zoning Map Designation**

As shown in Figure 4: Zoning Map Designation, the City Zoning Map designates the Specific Plan area as CN Neighborhood Commercial.

The Specific Plan area is subject to the MU Mixed Use Overlay District Regulations as introduced in the 2035 General Plan and noted in the City’s Zoning Map. The MU Overlay District Regulations apply to all commercial zoning districts.

**F. PROJECT HISTORY**

The City approved the Jefferson Square Specific Plan 2002-062 in January 2004. In its initial form, the Specific Plan proposed a 113,173 sq. ft. commercial retail center on a 10.7-acre site. In November 2005, Amendment No. 1 was approved to alter the site plan and reduce the proposed commercial retail square footage to 100,731 sq. ft. In May 2008, Amendment No. 2 was approved whereby the site plan was again altered and the proposed commercial retail square footage was once again reduced to 90,441 sq. ft. Concurrent with Amendment No. 2, the Planning Commission approved SDP 2007-898. A copy of the Amendment No. 2 site plan is provided as Figure 5: Amendment No. 2 Site Plan, for reference purposes.

Construction of the Specific Plan area began in 2008. By 2009, four retail buildings were constructed in PA1 totaling approximately 38,000 sq. ft. Constructed retail buildings include those buildings identified in Figure 5 as Drug, Shops 2, Shops 3, and Fresh & Easy (note: to streamline the Specific Plan naming convention, all existing PA1 buildings have been renamed as depicted in Figure 11). Onsite and offsite horizontal improvements were also constructed throughout the entire Specific Plan area (PA1 and PA2), including three certified pads (one on PA1 and two on PA2) identified in Figure 5 as Pad A, Shops 1, and Major, parking lots, driveways, stormwater management system, utility infrastructure, landscape improvements, and public sidewalks and parkways.

In 2013, Parcel Map No. 36241 was approved and recorded, whereby the Specific Plan area was subdivided into seven legal parcels. Street and landscape dedications were included with Parcel Map No. 36241 which reduced the Specific Plan area from 10.79 to 10.27 acres. A summary of the subdivision is presented as Table 1: Jefferson Square Specific Plan Parcel Areas and Land Use.

In 2020, the Planning Commission approved SDP 2020-0002, which allowed the development of a drive-through coffee use (Dutch Bros Coffee Shop) on the pad formerly identified as Pad A. The drive-through coffee use has since been constructed and is operational as of 2023.

As of August 2023, the formerly identified Major and Shops 1 pads remain vacant and undeveloped. Figures 6, 7, and 8 provide historical aerials of the Specific Plan area that illustrate the site in 2005, 2011, and 2021. Figure 9 depicts the Specific Plan area conditions as of 2022.

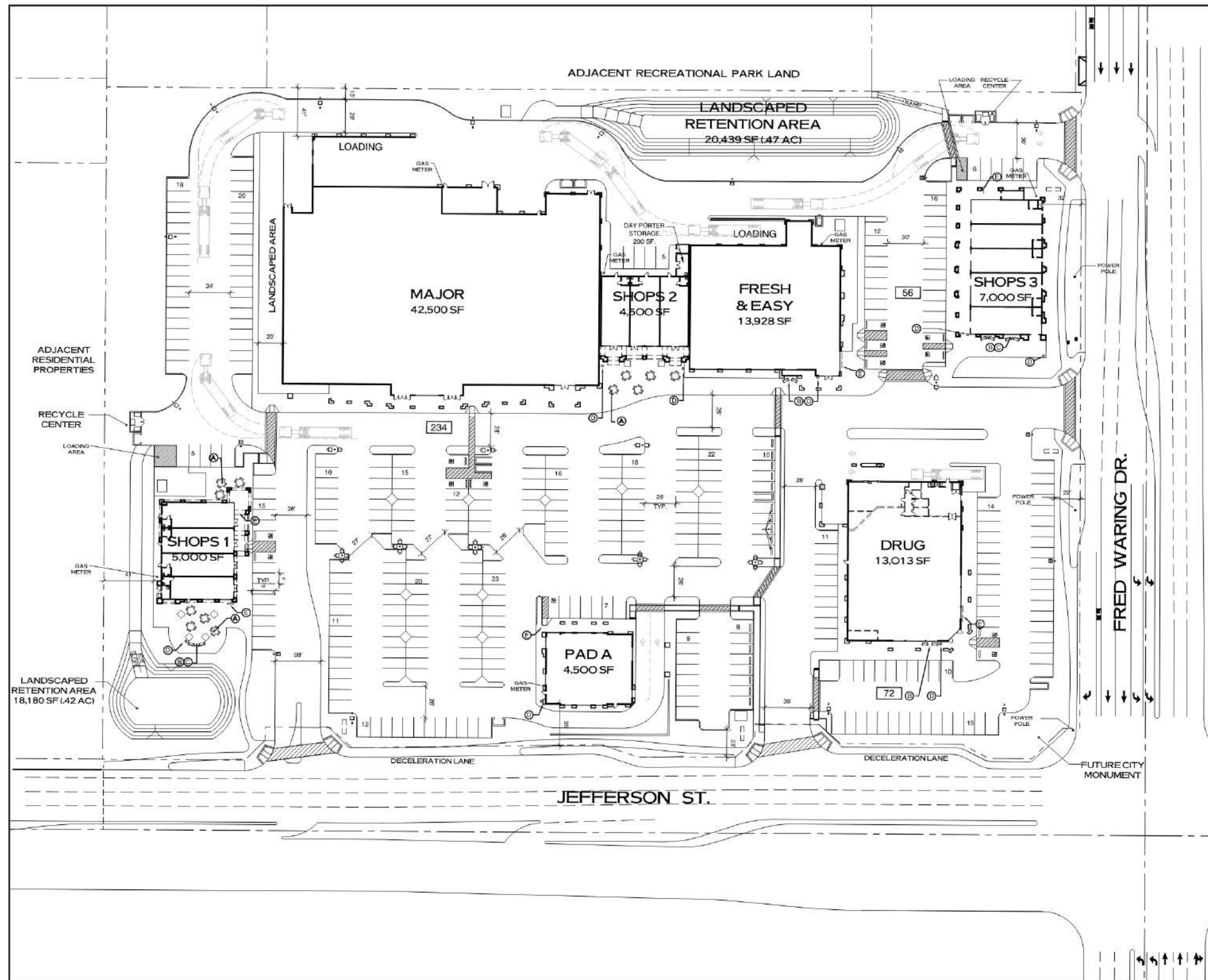


Figure 5: Amendment No. 2 Site Plan (for reference purposes)

**Table 1: Jefferson Square Specific Plan Parcel Areas and Land Use**

<b>Parcel #</b>	<b>APN</b>	<b>Acreage</b>	<b>Building Area</b>	<b>Land Use</b>
Parcel 1	604-521-007	1.47	13.0K	Retail (Pharmacy)
Parcel 2	604-521-009	0.81	6.7K	Retail
Parcel 3	604-521-010	1.86	14.0K	Retail
Parcel 4	604-521-011	0.58	0.9K	Food (drive thru coffee)
Parcel 5	604-521-012	0.45	4.3K	Retail
Parcel 6	604-521-013	4.09	0	Vacant
Parcel 7	604-521-014	1.01	0	Vacant
<b>Total</b>		<b>10.27</b>	<b>38.9K</b>	



**Figure 6: Site Aerial View on December 31, 2005, Source Google Earth**



**Figure 7: Site Aerial View on June 23, 2011, Source Google Earth**



**Figure 8: Site Aerial View on June 06, 2021, Source Google Earth**

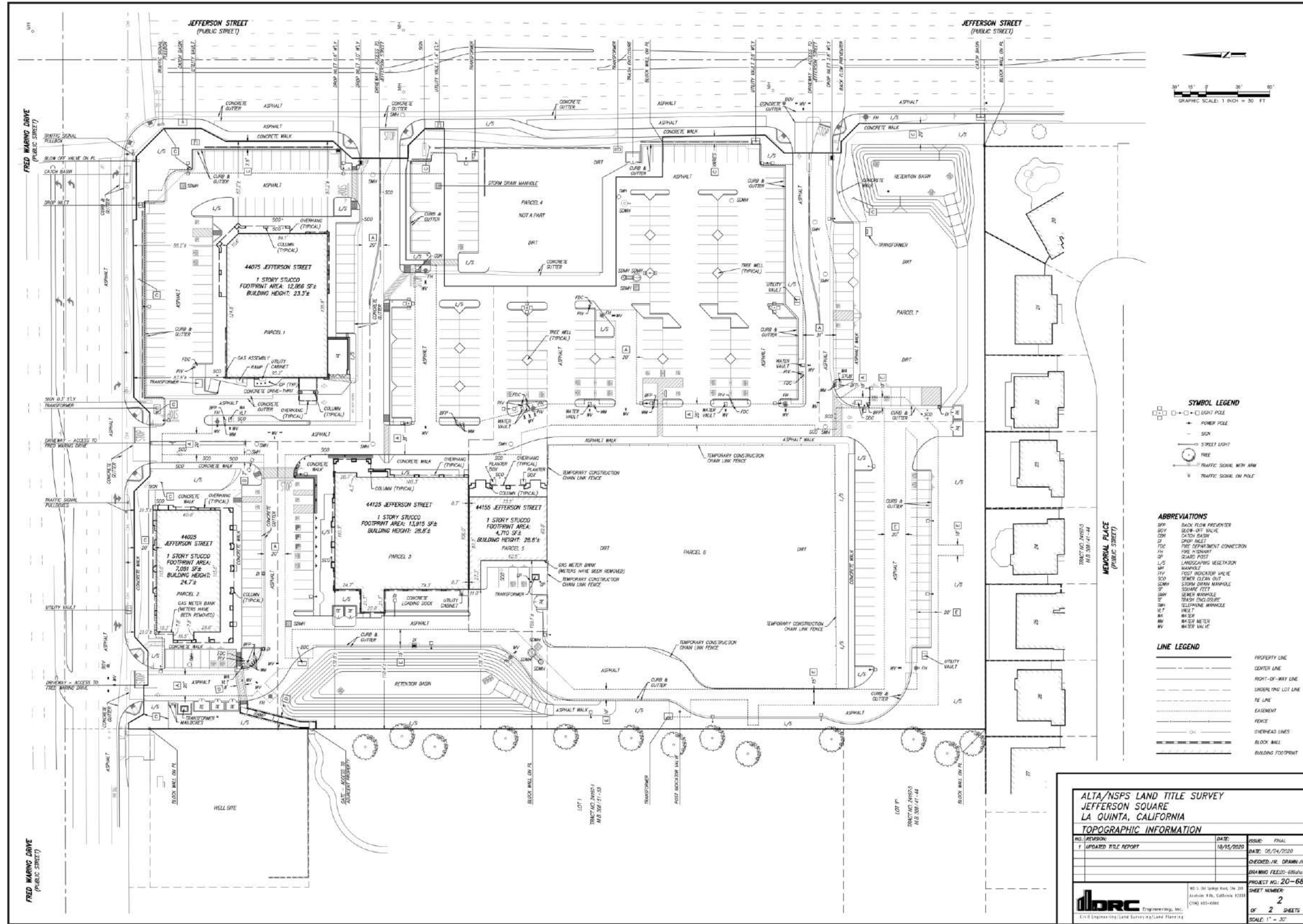


Figure 9: 2022 Site Conditions

## G. PROJECT OVERVIEW

Since the approval of Amendment No. 2 in 2008, the retail industry has shifted considerably. Following the Great Recession of 2008, many once powerful retailers have filed for bankruptcy, including Fresh & Easy and Osh Hardware, two retailers that were slated to occupy the Specific Plan area. With the evolution of technology over the past 10 years, consumers have transitioned to online shopping and spend less time in brick-and-mortar stores. The Coronavirus Pandemic of 2020 further exacerbated this trend and has led to a substantial increase in retail vacancy throughout Southern California. Meanwhile, housing shortages continue to grow. In 2012, Southern California Association of Governments (SCAG) adopted the 5<sup>th</sup> Cycle Regional Housing Needs Assessment (RHNA) for the planning period of October 2013 to October 2021 and in 2021, the agency adopted the 6<sup>th</sup> Cycle RHNA for the planning period of October 2021 to October 2029. La Quinta RHNA allocations for the respective planning periods are 364 dwelling units and 1,530 dwelling units, or an anticipated housing demand increase of 320%.

While Amendment No. 2 limited the Specific Plan area to commercial uses, Amendment No. 3 allows the Specific Plan area to be developed as a horizontally mixed-use project. Horizontal Mixed-Use is envisioned in the Specific Plan area as retail uses located in PA1 and higher density residential in PA2. The catalyst for this change is the Mixed-Use Overlay District Regulations, which apply to all commercially zoned properties in the City.

## H. PROJECT ENTITLEMENTS

Approval/certification of the following actions will be required to implement the Project:

**Specific Plan Amendment No. 3:** This document includes the land use and development standards, design guidelines, infrastructure needs and implementation strategies to fully implement the allowed uses of the Specific Plan. The Specific Plan requires separate public hearings before the Planning Commission and City Council. The Specific Plan shall be approved by City Council and adopted by resolution.

**Mitigated Negative Declaration:** Pursuant to State and local CEQA guidelines, an Initial Study (IS) was prepared for Amendment No. 3 and determined that development pursuant to Amendment No. 3 could result in environmental impacts. The initial study identified specific mitigation measures that would mitigate any potential impacts resulting from implementation of development to a less than significant level. Consequently, a Mitigated Negative Declaration has been prepared for Amendment No. 3.

**Site Development Permit:** An SDP is required by the City for final approval of a site plan, architectural design, and landscape design. The SDP requires a public hearing before the Planning Commission. The Community Development Director shall have the authority to approve minor adjustments to the SDP plan, so long as they determine such adjustments are consistent with the Specific Plan.

**Tentative Tract Map:** If required, a Tentative Tract Map shall be reviewed by the Planning Commission, with their recommendation, and ultimately reviewed by the City Council for a final determination.



**Final Tract Maps, Grading Plans, Landscape Plans and Building Permits:** Recordation of the final tract map(s) and approval of final landscape plans, issuance of grading and building permits, as needed, shall be obtained, for each building, as required by the City.

## II. PROJECT SETTING

### A. LAND USE AND ZONING

The Specific Plan area's land use and zoning designations are CG General Commercial and CN Neighborhood Commercial, respectively. The Specific Plan area is also subject to the MU Mixed Use Overlay District.

The 2035 General Plan Land Use Element describes CG General Commercial uses as: *“The full range of commercial uses can occur within this designation, ranging from supermarkets and drugstores in a neighborhood shopping center, to major national retailers in large buildings. General Commercial uses also include professional offices, service businesses, restaurants, hotels or motels, research and development and warehousing or similar low impact quasi-industrial projects. As established in Policy LU-7.1, mixed use development is also appropriate in this designation. Mixed use project can include vertical mixed use – where retail/office occurs on the ground floor, with residential units above; horizontal mixed use – where retail/office and higher density residential occur next to each other and are integrated through pedestrian connections and common areas; or mixed use added to existing commercial development – where the residential project abuts or wraps around an existing commercial development.”*

The City Zoning Code states that the purpose and intent of the CN Neighborhood Commercial Zone is: *“To provide for the development and regulation of small-scale commercial areas located at the intersections of arterial highways as shown on the General Plan. The CN district is intended to provide for the sale of food, drugs, sundries, and personal services to meet the daily needs of a neighborhood area.”*

Finally, the City Zoning Code states that the purpose and intent of the MU Mixed Use Overlay is: *“to facilitate the development of mixed-use projects that include both multifamily residential and commercial components in a cohesively designed and constructed manner. The mixed-use overlay district will contribute to vehicle trip and associated air pollutant reductions by locating residents near services, employment, and transportation hubs, and by providing interconnected multi-purpose paths for alternative modes of transportation.”*

The proposed site plan, design standards, and allowable uses of the Specific Plan are consistent with the City's Land Use, Zoning, and Mixed-Use Overlay District Regulations. A detailed General Plan consistency analysis is provided as Appendix A.

### B. EXISTING SITE CHARACTERISTICS

Existing site characteristics are shown in Figure 9: 2022 Site Conditions. The subject property has been subdivided into seven legal parcels (Parcels 1 through 7) varying in size from 0.45 acres to 4.09 acres as listed in Table 1. Vertical improvements have been developed in PA1 (Parcels 1 through 5) and horizontal improvements have been constructed throughout the entire Specific Plan area (PA1 and PA2). Constructed site improvements include parking lots, driveways, stormwater retention systems, utility infrastructure, and landscape improvements. PA2 (Parcel 6 and 7) remain vacant with pads ready for vertical improvements. Offsite improvements include a traffic signal at the northeast corner of the Specific Plan area at the intersection of Fred Waring Drive and Jefferson Street, curb, gutter, public sidewalk and landscape improvements along the full lengths of Fred Waring Drive and Jefferson Street, and a deceleration lane on Jefferson Street. The Specific Plan area is also bordered by 6-foot-high masonry walls on the southern and western boundaries.

**C. SURROUNDING LAND USE**

Table 2: Specific Plan and Surrounding Land Use and Zoning Designations lists the Specific Plan area’s surrounding land uses and zoning designations. Figure 10: Surrounding Developments illustrates existing uses surrounding the Specific Plan area. The Specific Plan area is bordered on the north by Fred Waring Drive, which is a six-lane primary arterial roadway with a 120-foot-wide right-of-way. The Esplanade single-family residential subdivision is located directly across Fred Waring Drive, north of the Specific Plan area. The Specific Plan area is bordered on the east by Jefferson Street, a major arterial with a 120-foot-wide right-of-way. Property to the east of Jefferson Street is within the City of Indio’s jurisdictional boundaries and has been developed as a retail center. The Heritage Palms Golf Resort is located across Jefferson Street to the southeast. Land use immediately west of the Specific Plan area includes a well site, City park, and a retention basin associated with the developed residential subdivision (Monticello) further to the west. The rear yards of approximately seven single-family residences of the Monticello neighborhood exist along the southern boundary of the site. These homes are separated from the Specific Plan area by an elevated berm and a six-foot-high masonry block wall.

**Table 2: Specific Plan and Surrounding Land Use and Zoning Designations**

Area	Land Use Designation	Zoning Designation
Specific Plan area	CG General Commercial	CN Neighborhood Commercial
North	LDR Low Density Residential	RL Low Density Residential
South	LDR Low Density Residential	RL Low Density Residential
East	City of Indio / Neighborhood Center	City of Indio / Neighborhood Center
West	OS-R Open Space Recreation / MC Major Community Facilities	PR Parks and Recreation / MC Major Community Facilities



**Figure 10: Surrounding Developments**

### **III. PROJECT MASTER PLANS**

#### **A. CONCEPTUAL SITE PLANS**

Amendment No. 3 allows for either (i) a mixed-use development plan or (ii) a commercial retail development plan. Both development scenarios are further described below. It should be noted, the plans described in this Specific Plan are intended as examples of acceptable projects, however a final development plan and any subsequent plan alterations shall be subject to the approval of an SDP.

##### **Mixed-Use Development Plan**

Figure 11: Conceptual Site Plan – Mixed Use Development illustrates a mixed-use development plan that could result from the approval of Amendment No. 3. In this plan, PA1 would continue to serve as a commercial retail center and PA2 could be developed with up to 95 multifamily units. Multifamily unit types could include apartments, townhomes, condominiums or a combination thereof.

##### **Planning Area I – Mixed-Use Development Plan**

PA1 is built out with approximately 39,000 sq. ft. of building area. PA1 consists of five commercial buildings referenced as RETAIL 1, 2, 3, 4, and 5 throughout the remainder of this document. PA1 shall continue to serve as a neighborhood commercial center which is currently occupied by CVS Pharmacy, Dutch Bros Coffee and an assortment of other retail and service-oriented shops. The currently developed areas of PA1 include 176 parking spaces, which exceeds the required parking for existing uses by 46 spaces. Should additional commercial space be proposed for PA1, it will be required to demonstrate conformance with the parking requirements of this Specific Plan (see Table 5).

A summary of the existing PA1 building areas and retail uses is provided in Table 3: Retail Land Use Summary – Planning Area I.

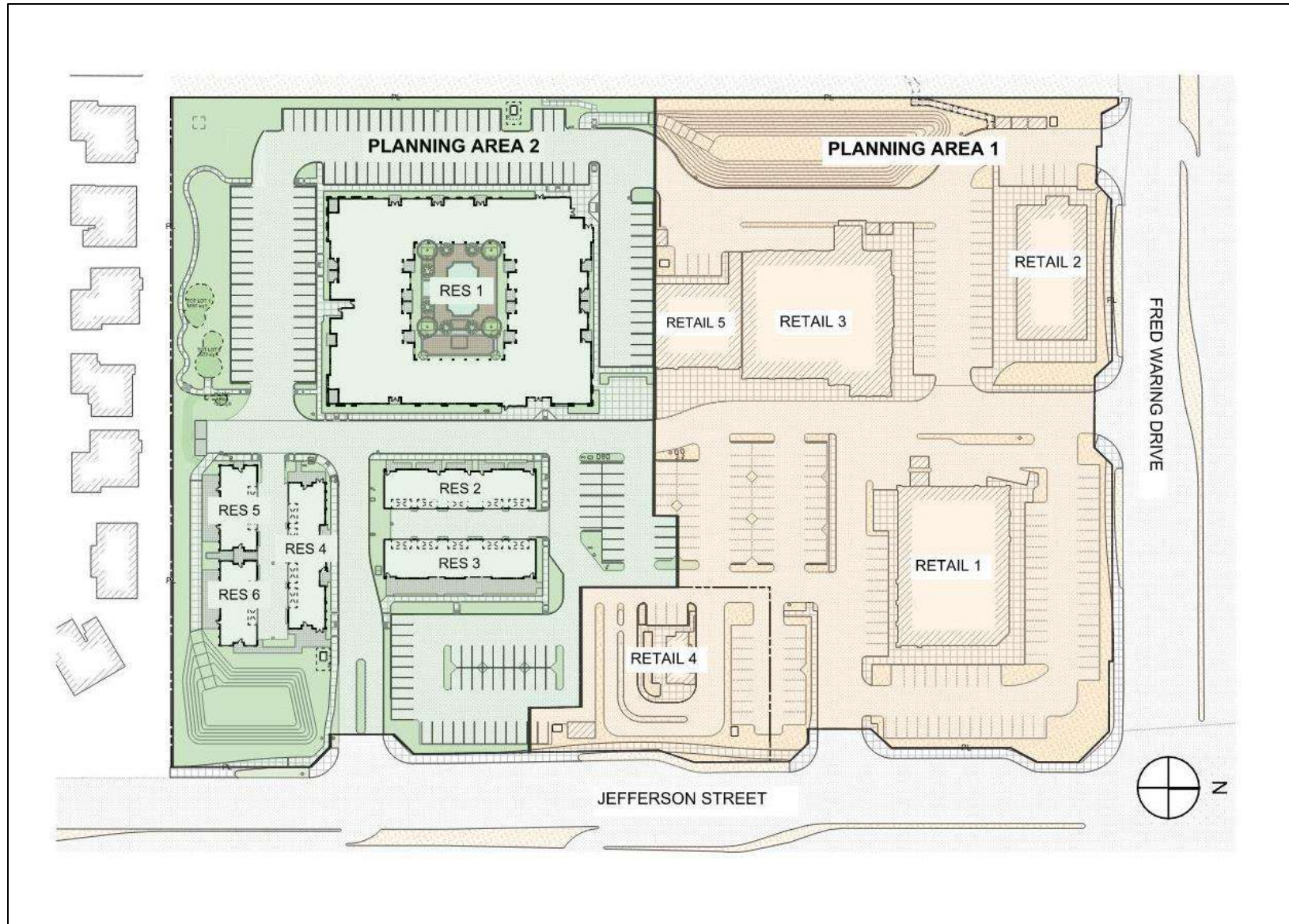


Figure 11: Conceptual Site Plan – Mixed Use Development

**Table 3: Existing Retail Land Use Summary – Planning Area I**

Parcel #	Site Area (sq. ft.)	Building Reference	Building Area <sup>(1)</sup>	Building Use <sup>(1)</sup>	Number of Stories	Floor Area Ratio <sup>(1)</sup>
1	63,903	RETAIL 1	13,013	Drug Store (Anchor) with Drive Thru	1	0.20
2	35,414	RETAIL 2	7,000	Retail Shops and Restaurant	1	0.20
3	80,978	RETAIL 3	13,969	Retail	1	0.17
4	25,047	RETAIL 4	852	Coffee Shop with Drive Thru	1	0.03
5	19,646	RETAIL 5	4,500	Retail Shops and Restaurant	1	0.23
Total	224,987		39,334			0.17

*(1) Land use and building size may be modified, and/or reduced or enlarged in the future. However, the maximum FAR of 0.25 will not be exceeded within the Planning Area, or at any individual lot. The maximum commercial square footage allowed in PA1 is 56,300 square feet.*

### **Planning Area 2 - Mixed-Use Development Plan**

The City of La Quinta Municipal Code Section 9.140.090 MU Overlay allows a residential unit density of 12 to 24 units per acre. Amendment No. 3 contemplates up to 95 residential units in PA2, which equates to 18.6 units per acre.

Figure 11 - Conceptual Site Plan – Mixed Use Development illustrates how 95 residential units could be developed within PA2. In this plan, RES 1 is shown as a three-story slab-on-grade apartment building with 77 one-, two-and three-bedroom flats. RES 2, RES 3, RES 5, and RES 6 buildings are attached townhome buildings offering three-story, three-bedroom units. The RES 4 building is an attached townhome building consisting of two-story and three-story, three-bedroom units. A summary of the mixed-use plan illustrated by Figure 11 is provided in Table 4: Multifamily Land Use Summary – Planning Area 2.

Primary access to PA2 would be taken from the existing southernmost Jefferson Street driveway. Pedestrian walkways would connect PA1 and PA2 to encourage walkability and reduce vehicle miles travelled. PA2 residents would have access to common area recreational facilities such as a pool, spa, gym, recreational room, co-office space, outdoor plaza, tot-lot, community garden and walking trail. A resident park access point is proposed north of RES 1 to provide pedestrian access to Monticello Park (see Figure 13: Circulation Plan). PA2 multifamily amenities are discussed further in Section III.B.

**Table 4: Multifamily Land Use Summary – Planning Area 2**

Building #	Dwelling Unit Count	Building Use	Number of Stories
RES 1	77	Multifamily / Apartments	3
RES 2	5	Multifamily / Townhomes	3
RES 3	5	Multifamily / Townhomes	3
RES 4	4	Multifamily / Townhomes	2/3
RES 5	2	Multifamily / Townhomes	2
RES 6	2	Multifamily / Townhomes	2
Total	95		
Density	18.6 units /ac		

**PA 2 Alternative - Commercial Retail Development Plan**

If the residential development is not developed, Figure 12: Conceptual Site Plan – Commercial Retail Development illustrates a commercial retail development alternative that could result from the approval of Amendment No. 3. In this plan, PA1 and PA2 would serve as a commercial retail center as contemplated in Amendment No. 2. PA2 would consist of a 42,500 square foot retail building(s) on Parcel 6 and a 5,000 square foot retail building on Parcel 7 as summarized in Table 5 below.

**Table 5: Retail Land Use Summary - Planning Area 2**

Parcel #	Site Area (sq. ft.)	Building Area <sup>(1)</sup>	Building Use <sup>(1)</sup>	Number of Stories	Floor Area Ratio <sup>(1)</sup>
6	178,160	42,500	Commercial Retail Building	1	0.24
7	43,996	5,000	Retail Shops and Restaurant	1	0.11



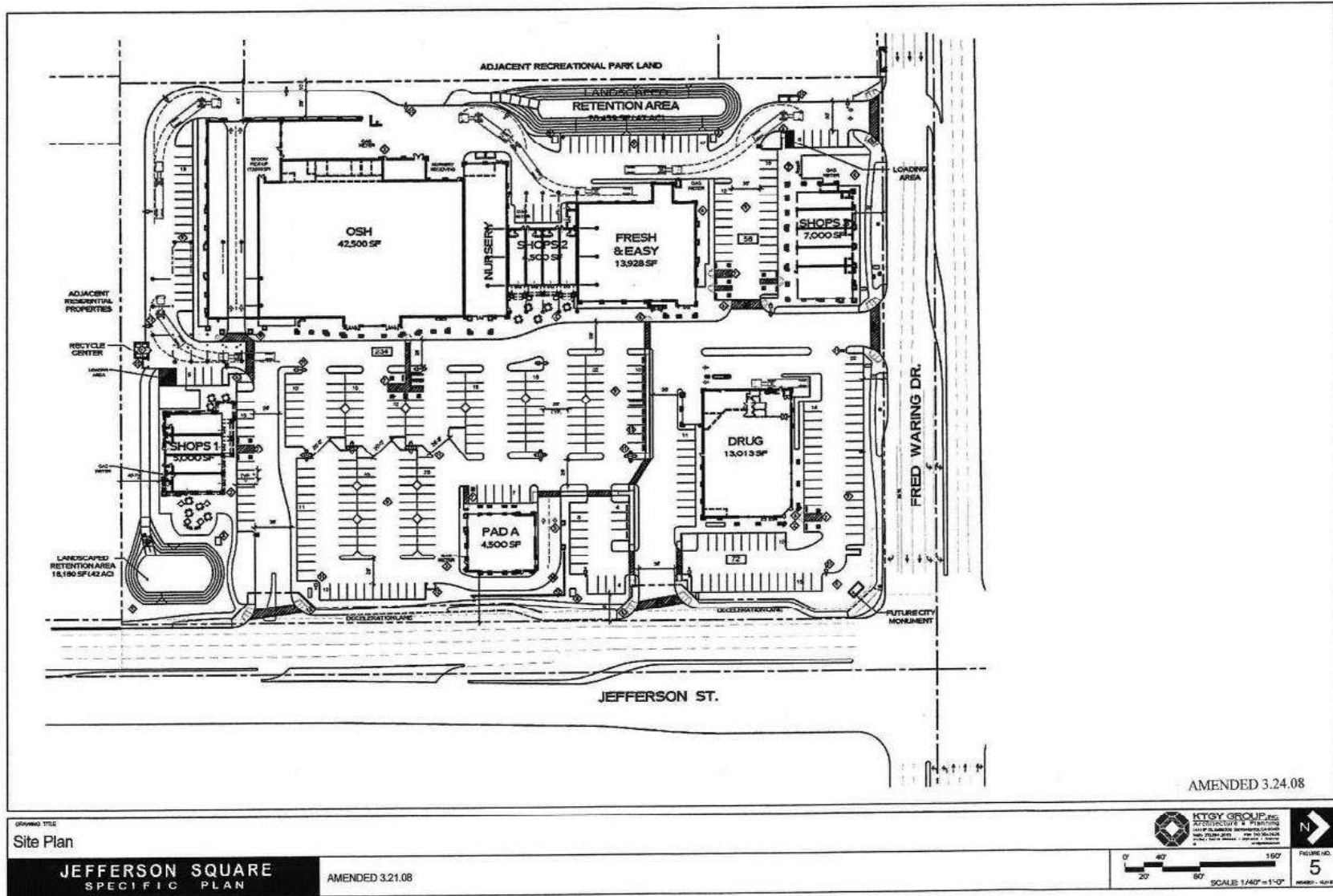


Figure 12: Conceptual Site Plan - Commercial Retail Development

## **B. PA2 AMENITY PLAN**

The following amenity plan details approved features for a PA2 multifamily project. Within this section, various options are presented, offering flexibility for integration into any multifamily plan. The carefully chosen amenities listed below aim to meet the diverse needs and preference of prospective residents. Selections should align with the needs and desires of the target residents with the intent of creating a vibrant and comfortable community environment. Alternative project amenities may be provided on-site with approval from the Director of Design and Development or designee. At a minimum, three outdoor and two indoor amenities should be provided for a PA2 multifamily project.

### **Outdoor Amenities:**

1. Swimming Pool:
  - Swimming pool with designated areas for lounging.
2. Spa Area:
  - Spa/jacuzzi with therapeutic jets for relaxation.
3. BBQ and Picnic Area:
  - BBQ station(s) with grills and picnic tables for gatherings.
  - Landscaped seating areas and umbrellas for a pleasant outdoor dining experience.
4. Gathering Space:
  - Tables and seating area.
  - Recreational area including yard games such as table tennis and cornhole.
5. Center Plaza:
  - Serves as a focal point for connectivity between PA1 and PA2.
  - Dining tables and chairs with umbrellas and lounge chairs.
6. Playground and Recreation Area:
  - Outdoor spaces for children to play and for residents to engage in recreational activities.
  - Examples include tot-lots, basketball courts, tennis courts, and bocce ball courts.
7. Green Space:
  - Landscaped area, garden, or pocket park that would contribute to a healthier and more aesthetically pleasing environment.
8. Jogging Trail:
  - Decomposed granite paved jogging trail along open landscaped area in the southwest corner.

9. Dog Park:

- Secure dog play area.

10. Monticello Public Park Access:

- Direct access to Monticello public park from the multifamily community.

**Indoor Amenities:**

1. Lobby Area:

- Welcoming lobby with furnishings.
- Concierge desk for resident services and security.
- Comfortable seating areas for residents and guests.
- Mail and package room with secured storage.

2. Community Room:

- A multi-purpose community room that serves as a hub for various events, workshops, and social activities.
- Kitchenette for catering and food preparation.

3. Coworking Space:

- Coworking area equipped with high-speed internet.
- Private work pods and meeting rooms for productivity.
- Printing and scanning equipment for residents' convenience.

4. Education and Learning Space:

- Areas for educational programs, workshops, tutoring and learning activities.

5. Fitness Center:

- On-site gym or fitness center to promote health and well-being among residents.

6. Laundry Facilities:

- On-site laundry facilities for the convenience of residents.

**Additional Amenities:**

1. Community Events and Programs:

- Regularly organized events and programs to encourage community engagement and interaction.

2. Bike Storage and Repair Station:

- Secured bike storage for residents with bicycles.
- Bike repair station with tools and air pump.

**C. PHASING PLAN**

PA1 was developed in 2008 apart from Parcel 4, which was developed in 2021. PA2 is anticipated to be developed in one phase. Construction is anticipated to be completed in 12 to 18 months.

#### **D. CIRCULATION PLAN**

Circulation within a mixed-use project comprised of multifamily and retail components is crucial for creating a vibrant and interconnected environment. Effective circulation design ensures smooth movement and accessibility for residents, shoppers, and employees, optimizing the functionality and success of the development. This section explores the significance of circulation in the Specific Plan area. Below are some key considerations and strategies implemented to enhance circulation.

Considerations for Circulation Design:

1. **Location and Separation:** The multifamily and commercial components shall be separated yet interconnected through a network of walkways and vehicular drives to ensure privacy for residents while allowing easy access to retail amenities.
2. **Pedestrian-Friendly Design:** An emphasis shall be placed on pedestrian-friendly design principles that incorporate enhanced sidewalks and landscape, well-lit pedestrian paths, and crosswalks to enhance pedestrian safety and encourage walking within the development.
3. **Traffic Flow and Parking:** Any approved development plan shall account for efficient traffic flow within the project by incorporating well-designed drives and intersections with direct access to parking areas. Adequate parking facilities for both residents and retail customers shall be provided to ensure convenience and minimize congestion.
4. **Entry and Exit Points:** The Specific Plan area offers four vehicular entry and exit points to facilitate efficient circulation. Additionally, the Specific Plan area offers multiple pedestrian access points along Jefferson Street and Fred Waring Drive.
5. **Designated Loading and Unloading Areas:** The Specific Plan area strategically locates designated commercial loading and unloading areas to minimize disruption of traffic flow.

Figure 13 illustrates an acceptable circulation plan which is discussed in further detail below.

#### **Vehicular Access and Circulation**

Vehicular access to the Specific Plan area is taken from four primary entry drives (Primary Entry Drives 1 through 4, Figure 13), (i) two locations along Fred Waring Drive, and (ii) two locations along Jefferson Street. Deceleration lanes are provided at the two drives on Jefferson Street, and Primary Entry Drive 3. Primary Entry Drives 1 and 4 provide left-in turning lanes into the site. Primary Entry Drives 2 and 3 provide restricted, right in-right out access only. There is a dedicated right turn lane for eastbound traffic using Fred Waring Drive turning south onto Jefferson Street. On Jefferson Street, the left turning lane into the project is approximately 650 feet south of the intersection with Fred Waring Drive. On Fred Waring Drive the left turning lane is approximately 540 feet west of the intersection with Jefferson Street. Fred Waring Drive and Jefferson Street are designated in the General Plan as major arterials and the intersection is signalized.

Primary vehicular circulation drives serve as the backbone for vehicular circulation within the Specific Plan area. Primary vehicular circulation drives offer full site circulation throughout the

project and direct access to parking facilities and loading areas. Drive throats are provided at ingress and egress points to allow vehicular stacking and minimize traffic congestion in the parking areas.

### PA1 Vehicular Circulation

RETAIL 1 (CVS Pharmacy) is accessed through a secondary drive that fronts the store's entrance. Convenient parking is located along the full extent of this secondary drive. Access to the RETAIL 1 drive-through lane is taken from Primary Entry Drive 3. Drive-through access is provided via two 12-foot-wide drive-through lanes located on the west side of RETAIL 1. Each lane provides enough stacking to accommodate up to seven automobiles (~120 feet), without obstructing the accessway.

RETAIL 2, 3 and 5 are accessed through Primary Entry Drives 3 and 4, which lead to convenient parking spaces that front each of the buildings.

RETAIL 4 (Dutch Bros Coffee) is accessed from Primary Entry Drive 2 which leads to parking spaces that directly front the store's entrance and a double-stacked drive-through lane.

Primary Entry Drive 4 serves as the primary truck access for RETAIL 3 and 5 and Primary Entry Drive 3 serves as the primary truck access for RETAIL 1. An elevated loading dock is provided for RETAIL 3, and a service aisle is provided along the rear of the RETAIL 1 for loading purposes.

Any future additions or expansions to PA1 shall incorporate the Considerations for Circulation Design listed above. Additions or expansions shall ensure accessible path of travel, loading zones (as needed), and convenient parking. Additions or expansions shall ensure efficient traffic flow within the project by integrating into the existing circulation drives and intersections. There should be a direct vehicular and pedestrian path from at least one Primary Entry Drive.

### PA2 Vehicular Circulation

Primary Entry Drive 1 shall serve as the primary entrance for multifamily residents and their guests. Residents shall proceed to their designated parking space(s) via the primary vehicle circulation drives. RES 1 residents shall park in designated spaces located along the outer perimeter of the building. RES 2 through RES 6 residents shall park in private direct access garages. Residential guests shall park in the designated residential guest parking area located east of RES 3 fronting Jefferson Street.

### **Pedestrian Access and Circulation**

Pedestrian sidewalks and on-street bicycle lanes are provided along both the Fred Waring Drive and Jefferson Street frontages which serve as the pedestrian entryways for the Specific Plan area. A functional network of internal sidewalks and walkways shall be provided within the Specific Plan area. Figure 13 illustrates an example of an acceptable Pedestrian Access and Circulation Plan. The pedestrian path of travel within the Specific Plan area shall begin at each of the primary entry drives. From the primary entry drives, a network of onsite sidewalks and striped pathways shall lead pedestrians to onsite buildings. A pedestrian connection point to Monticello City Park is proposed in addition to the one currently in existence.

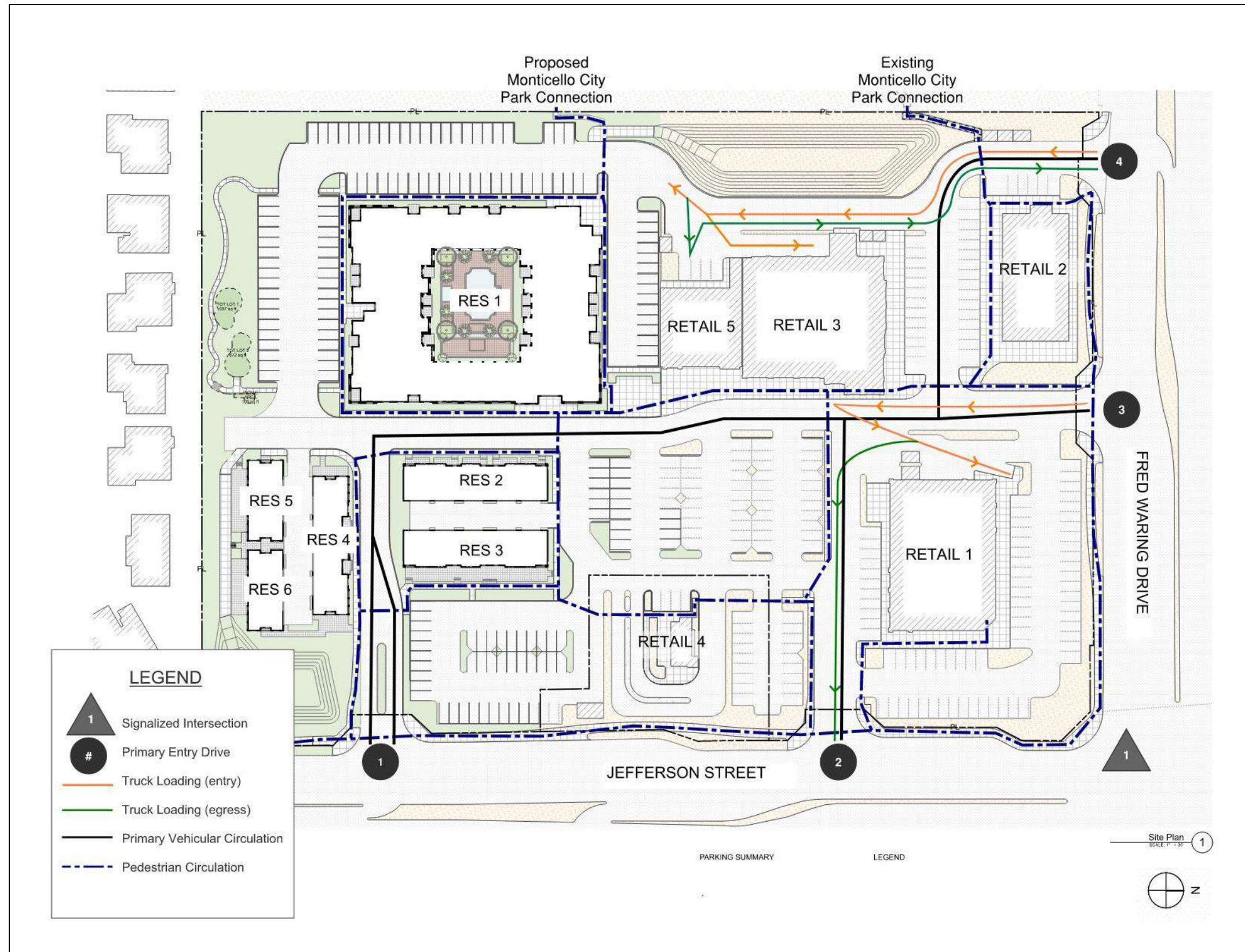


Figure 13: Circulation Plan

## **E. GRADING PLAN**

The Specific Plan area was constructed in accordance with the Conceptual Grading and Drainage Plan referenced in Amendment No. 2. A copy of this plan is provided as Figure 14. Precise grading for the overall site resulted in the development of seven building pads, an above and underground retention system, and associated parking areas designed to convey surface drainage flows to appropriate catch basins on site.

Minor grading and drainage adjustments would be necessary to develop PA2 as a multifamily project. Figure 15 PA2 Conceptual Grading and Drainage Plan serves as an example of an acceptable Grading and Drainage Plan. Final grading would match finished elevations of the surrounding retail parcels and would not result in significant slopes. Precise grading plans are subject to review and approval by the City according to standard engineering protocols.

## **F. DRAINAGE PLAN**

The existing Specific Plan area drainage consists of direct surface runoff into several catch basins located throughout the site (see Figure 14, Amendment No. 2 Conceptual Grading & Drainage Plan). Stormwater is conveyed from individual catch basins into an underground storm drain system, and ultimately to an underground retention system located near the center of the site and two above-ground retention basins located on the west and south sides of the site. All storm water is retained on site.

A multifamily development in PA2 shall be consistent with the previously approved hydrology report prepared for the Specific Plan. Tributary areas to each watershed shall be designed in such a way that substantially matches the existing condition. The characteristics and increased pervious area of a multifamily development plan would offset the effects of the reduced time of concentration and the ultimate result is discharge values close to or below existing conditions.

Any proposed multifamily development in PA2 shall conform with current City of La Quinta drainage design requirements and to the previously approved hydrology report for the Jefferson Square retail center and shall provide adequate protection for the proposed on-site improvements and structures without introducing adverse effects on the neighboring developments. The project's construction contractor, in consultation with the City, shall be responsible for filing all required notices with the Regional Water Quality Control Board (RWQCB), preparing the Storm Water Pollution Prevention Plan (SWPPP), and implementing required Best Management Practices (BMPs) for future projects.

## **G. SEWER PLAN**

Sewer service to the project is provided by the Coachella Valley Water District (CVWD) via an existing 10-inch sewer line within the right of way of Jefferson Street along the site's eastern property line. As shown in Figure 16, Existing Sewer and Water Plan, the Specific Plan area is serviced by two 8-inch private sewer mains. One 8-inch main runs from Jefferson Street to the front side of the RES 1 pad along Primary Entry Drive 1. This line shall provide sewer service for any PA2 multifamily development as illustrated in Figure 17, PA2 Conceptual Multifamily Sewer and Water Plan. A second 8-inch sewer main is constructed on the northeast side of the Specific Plan area. This line extends from an existing manhole located on Jefferson Street and runs along Primary Entry Drive 2 to where it terminates in front of the RETAIL 3 building. From this point,

the line extends north and south where retail laterals are connected to the line. Sewer laterals for the RETAIL 1, 2, 3, 4, and 5 buildings are connected to this sewer main.



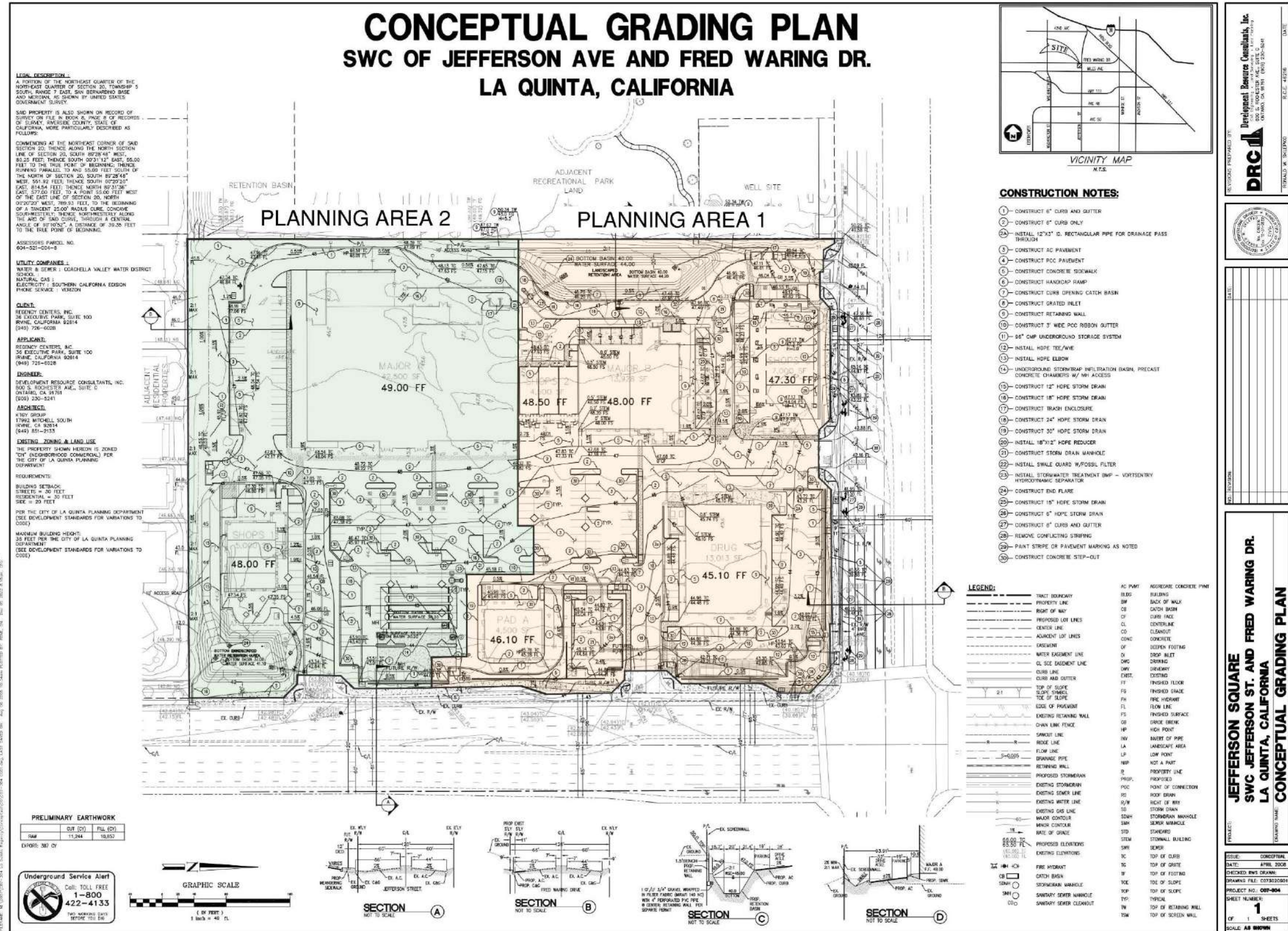


Figure 14: Amendment No. 2 Conceptual Grading Plan

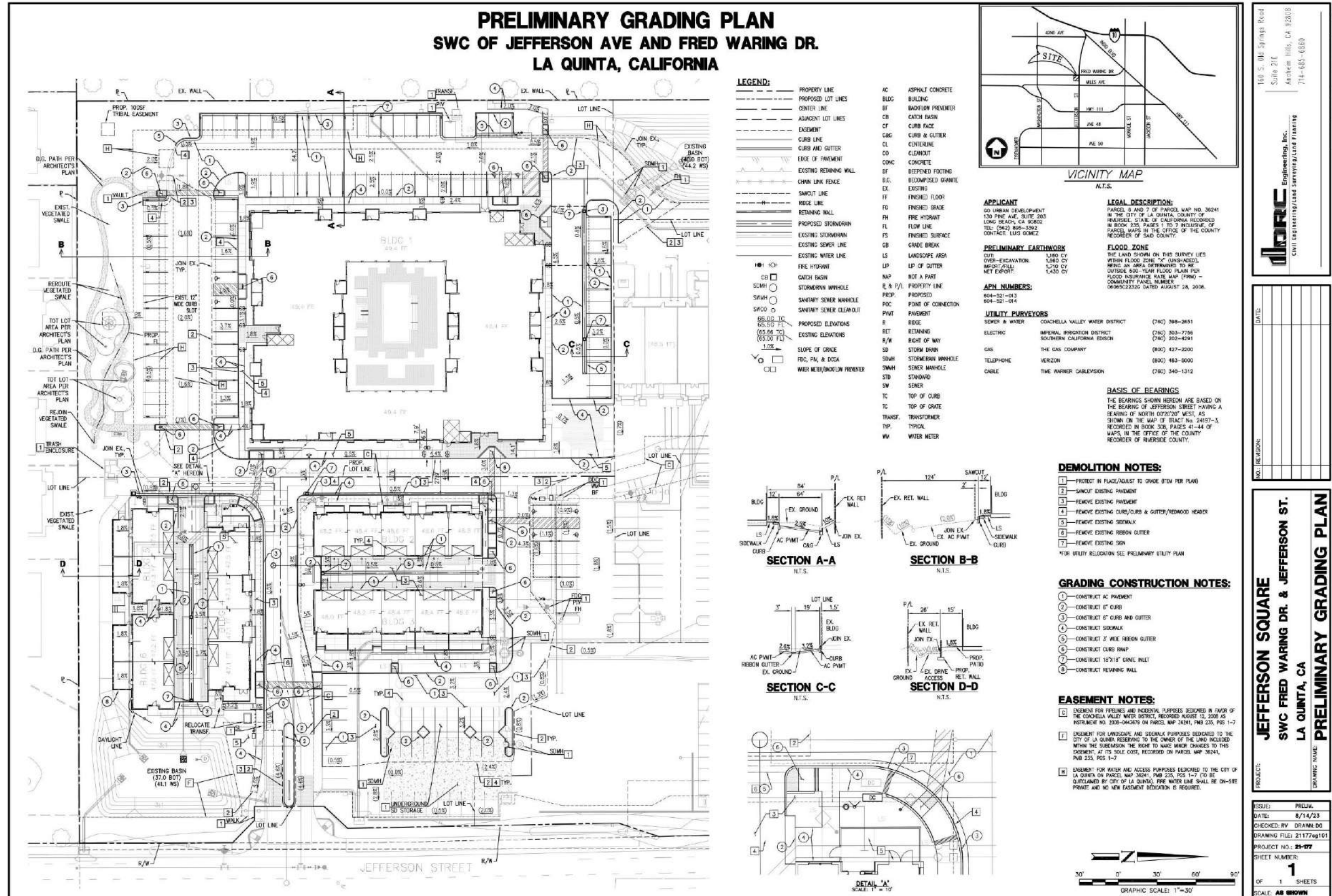


Figure I5: PA2 Conceptual Grading and Drainage Plan

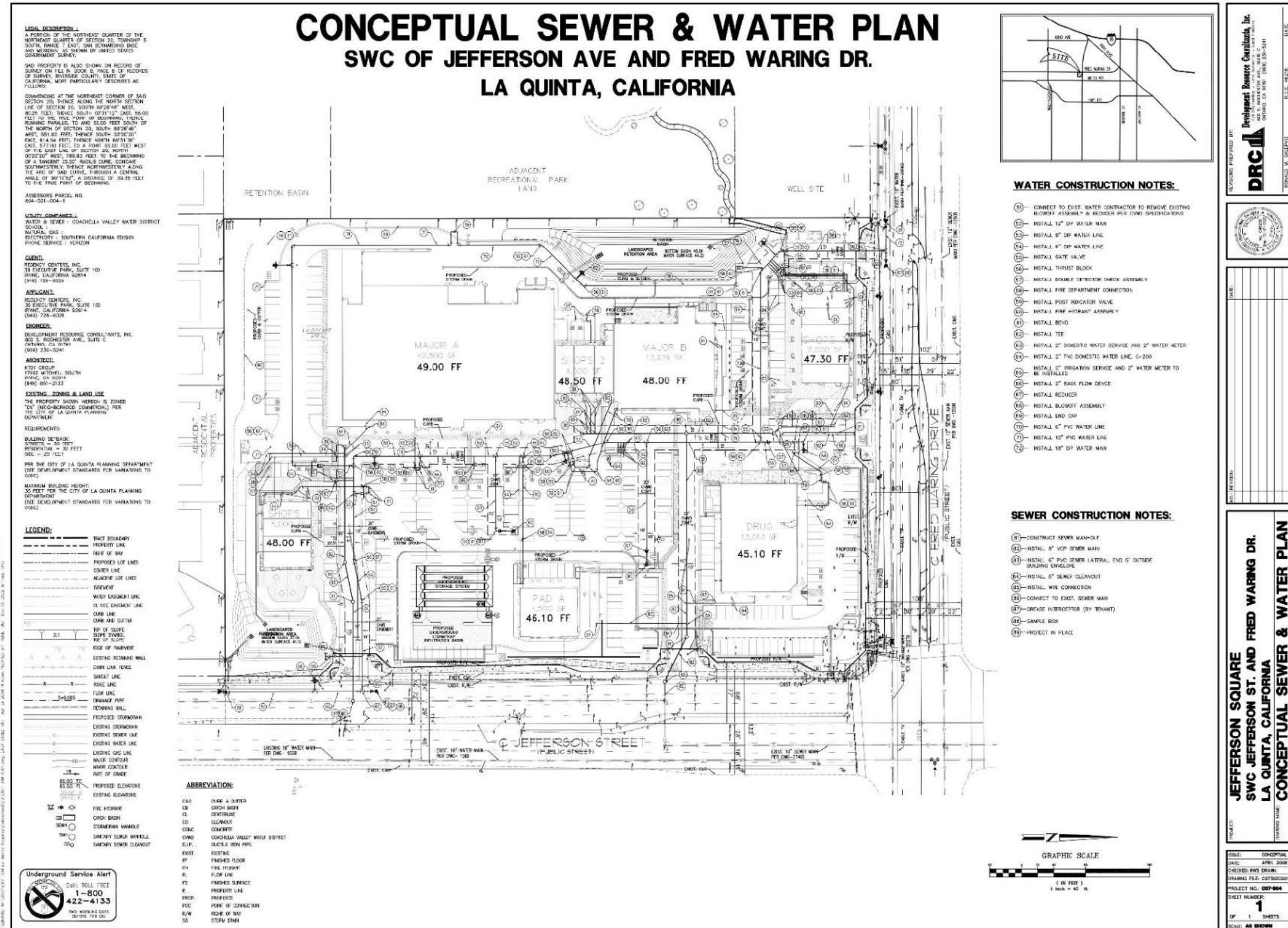


Figure 16: Existing Sewer and Water Plan

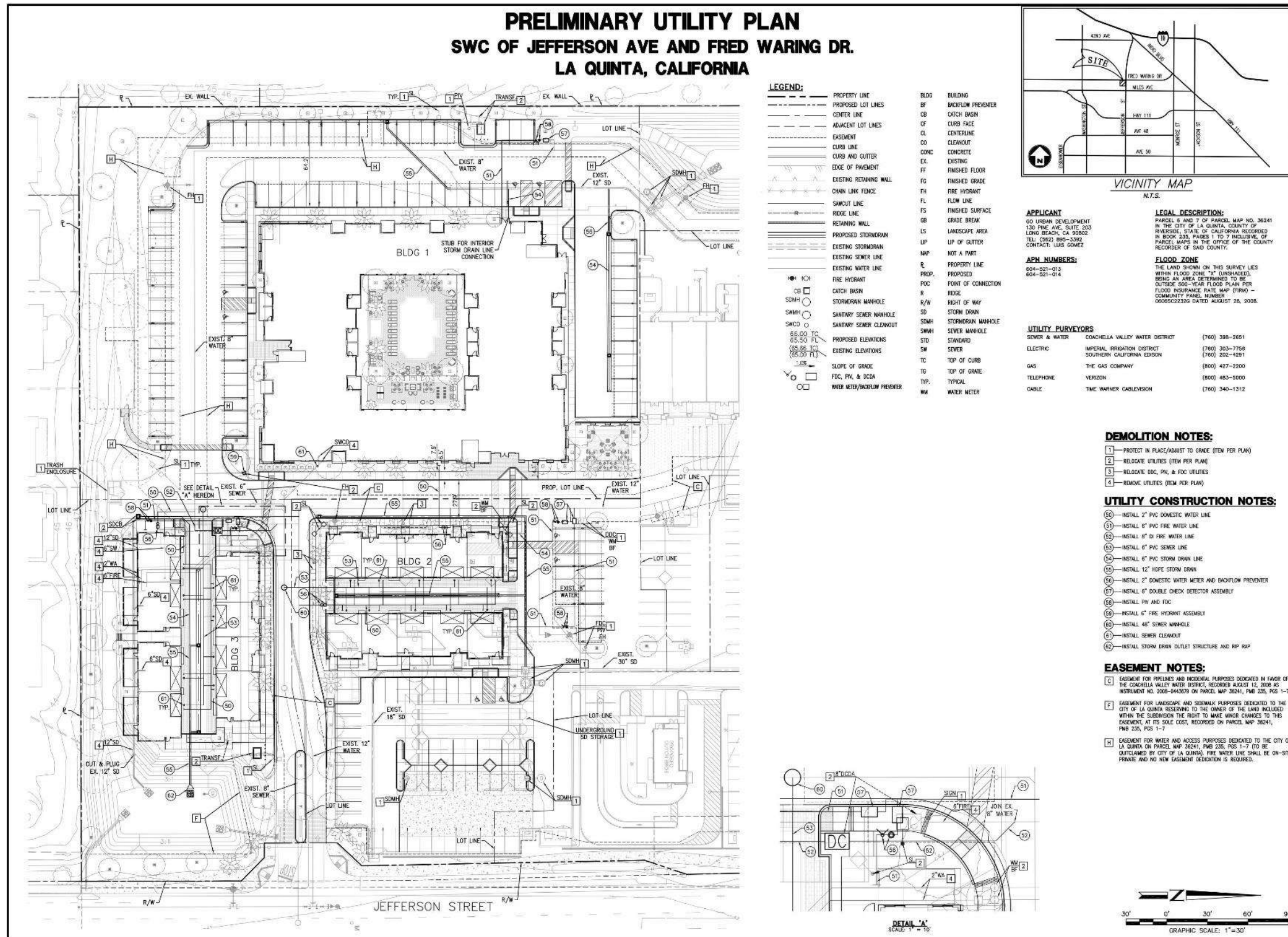


Figure 17: PA2 Conceptual Multifamily Sewer and Water Plan

## **H. WATER PLAN**

CVWD provides water service to the Specific Plan area via an 18-inch water main located on Fred Waring Drive and a 12-inch water main located on Jefferson Street. Domestic, irrigation and fire flow water are taken from the street mains through a network of onsite pipelines consisting of 12-inch, 8-inch, and 6-inch lines. Refer to Figure 16, Conceptual Sewage and Water Plan for a detailed illustration of the existing onsite water system and existing retail laterals. Refer to Figure 17 for an illustration of a conceptual PA2 multifamily water system.

## **I. OTHER UTILITY PLANS**

### **Natural Gas**

Natural gas service is provided to the Specific Plan area by The Gas Company, which currently maintains a 4-inch gas line within the right of way of Fred Waring Drive, at the project's northwest corner. The required extensions to facilitate service to the PA2 project would be coordinated with The Gas Company through their design review and approval process prior to the issuance of grading permits for the project.

### **Electric**

Electric service is provided to the Specific Plan area by the Imperial Irrigation District (IID), which currently maintains existing aboveground 92 kV and 12.5 kV transmission lines within the right of way of Fred Waring Drive along the project's northern property line. Onsite electrical service is fed from the aboveground transmission lines to various transformers located throughout the Specific Plan area. Power is then directed to electrical meters located in the individual building from its corresponding transformer. All onsite electrical services connections are buried underground.

### **Telephone**

Telephone service is provided to the Specific Plan area by Verizon, which maintains existing telephone lines within the right of way of Fred Waring Drive approximately 400 feet west of the project limits.

### **Cable Television**

Cable Television service is provided to the Specific Plan area by Time Warner Cable and is available to the property from existing cable within the right of way of Fred Waring Drive along the project's northern property line.

**IV. LAND USE & DEVELOPMENT REGULATIONS**

The development regulations contained herein provide specific standards relative to permitted land uses in addition to site design and construction regulations to be applied within the Specific Plan area. They are intended to protect the health, safety, and welfare of the public, and create a harmonious relationship with surrounding land uses. The development regulations of this Specific Plan are consistent with those of the City’s CN and MU codes and regulations, unless otherwise specified, and the proposed land uses are consistent with the GC land use designation in the City’s 2035 General Plan. Should a development standard contained in this Specific Plan conflict with an equivalent standard contained in the City of La Quinta Zoning Code, the provisions of the Specific Plan shall take precedence. In instances where the Specific Plan does not address a particular regulation, the applicable portion of the City of La Quinta Zoning Code shall govern.

Land use and development regulations are specified for PA1 and PA2 below. It should be noted that if multifamily development is not implemented in PA2, then the PA1 land use and development regulations shall apply to the entire site.

**A. PA1 LAND USE & DEVELOPMENT REGULATIONS**

**Permitted Uses**

Permitted uses in PA1 shall include all uses specified by the City’s Zoning Code, as listed in Table 9-5 Permitted Uses in Nonresidential Districts under the CN zoning designation. Additionally, drive-throughs are allowed on Parcels 1 and 4 (refer to Table 3: Retail Land Use Summary – Planning Area 1).

**Development Standards**

PA1 allows neighborhood commercial and retail uses as permitted above. Commercial buildings in PA1 shall adhere to the development standards listed in Table 6: Nonresidential Development Standards.

**Table 6: Nonresidential Development Standards**

Development Standard	Development Standard
Maximum structure height	35 ft. <sup>(1)</sup>
Max Structure Height within 150 ft. of Jefferson Street	22 ft. <sup>(2)</sup>
Maximum number of stories	1
Maximum Floor Area Ratio	0.25
Building Setbacks <sup>(3)</sup>	
From Jefferson Street	30 ft.

From Fred Waring Drive	30 ft.
Interior property lines	0 ft.
Landscape Setback <sup>(4)</sup>	
From Jefferson Street	20 ft.
From Fred Waring Drive	20 ft.
From Open Space/Park Districts	5 ft. minimum
From residential areas outside of the Specific Plan area	15 ft.
Interior Landscape	
Parking areas	5% of project area
Non parking areas	5% of project area
Required Parking	
Retail Stores	Minimum of one space per 300 sq. ft gross floor area (GFA).
Restaurant	Minimum of one space per 300 sq. ft. of GFA, when restaurant is not more than 20% of shopping center GFA.
	For freestanding restaurants and non-freestanding restaurant space in excess of 20% of the total shopping center GFA, parking shall be computed separately using the applicable City restaurant parking ratio(s).
	A facility to accommodate a minimum of five bicycles shall be provided for any restaurant use.
Other Uses	The parking provisions of the City Zoning Code Section 9.150 shall apply.

Notes:

- (1) Not including architectural appendages, such as a roof parapet or tower, up to 41 feet.
- (2) Not including up to 10% of the building mass, which may extend up to 36 feet.
- (3) Number given is minimum building setback depth from the Street right-of-way that existed prior to the processing of Parcel Map No. 36241. In addition to the required landscape setback, the building setback may contain parking, driveways, and similar facilities.

(4) Landscape setback shall consist of landscaped area within the building setback. Number given is minimum landscaped area from the street right-of-way that existed prior to the processing of Parcel Map No. 36241.

**B. PA2 LAND USE & DEVELOPMENT REGULATIONS**

**Permitted Uses**

Permitted uses in PA2 shall include multifamily residential (apartments, condominiums, townhomes, and similar housing types) of medium to high density (twelve to twenty-four units per acre) with one- to three-story dwellings in addition to all uses allowed in PA1. Senior group housing and active adult senior communities are also permitted in PA2. PA2 shall be developed as either multifamily residential or commercial uses, but not a combination of the two.

**Development Standards**

If PA2 develops as a commercial alternative, its development shall adhere to the standards listed in Table 6. If PA 2 develops as a multifamily development the development shall adhere to the standards listed in Table 7: PA2 Multifamily Development Standards.

**Table 7: PA2 Multifamily Development Standards**

Development Standard	Multifamily
Min. / Max. development intensity (du/ac)	12/24
Minimum project size (acre)	1
Maximum building width (ft.)	300
Minimum building separation (ft.)	6
Maximum structure height (ft.)	43.75 <sup>(1)</sup>
Max structure height within 150 ft. of Jefferson Street (ft.) <sup>(2)</sup>	28 <sup>(3)</sup>
Max structure height within 75 ft. of southern property line where adjacent to single-family residential	28
Maximum number of stories	3
Maximum number of stories within 75 ft. of southern property line where adjacent to single-family residential	2
Minimum livable area excluding garage (sq. ft.)	
One-bedroom apartment	600



Two-bedroom apartment	800
Three-Bedroom plus apartment	1,000
Townhome or Condo	1,200
Minimum common open area (% of net project area) <sup>(4)</sup>	30
Active recreation area (% of common open area) <sup>(5)</sup>	30
Maximum lot coverage (% of net lot area) <sup>(6)</sup>	60
Building Setbacks <sup>(7)</sup>	
From Jefferson Street	30 ft.
Interior property lines within Specific Plan Area	0 ft.
From Residential and Parks and Recreation districts <sup>(8)</sup>	30 ft.
Landscape Setback <sup>(8)</sup>	
From Jefferson Street	20 ft.
Interior property lines within Specific Plan Area	0 ft.
From Open Space/Park Districts	5 ft. minimum
From residential districts	15 ft.
Private garage minimum interior dimensions	<p>Single-car garage: Wall to wall dimensions of 10 ft. in width by 20 ft. in depth.</p> <p>Two-car garage: Wall to wall dimensions of 10 ft. in width by 20 ft. in depth for standard stalls. 9 ft. in width by 18 ft. in depth for compact stalls.</p>
Minimum Off-Street Parking Requirement	
Studio and one-bedroom	1 covered space per unit, plus 0.5 guest spaces per unit
Two- and three-bedroom	2 covered spaces per unit plus 0.5 guest spaces per unit

Four or more bedroom	3 covered spaces per unit plus 0.5 covered spaces per each bedroom over three, plus 0.5 guest spaces per unit
Senior Housing	1 covered space per unit, plus 0.5 guest spaces per unit

Notes:

- (1) *Per Section 9.140.090 of the LQMC, a mixed-use project may be up to 25 percent more in height than in a base district. Consistent with Section 9.140.090, a maximum building height of 43.75 feet (25 percent more than the allowed building height of 35 feet in Neighborhood Commercial Districts) for residential uses in PA2. Architectural appendages, such as a tower, can extend up to 48 feet.*
- (2) *150 ft. measurement shall be from the street right-of-way.*
- (3) *Not including up to 10% of the building mass, which may extend up to 36 feet.*
- (4) *Common open area equals percent of net project area. Common open area shall consist of passive landscaped and active recreation area, and excludes parking lot landscaping. Rights-of-way, parking areas, private patios, private yards and slopes steeper than twenty percent (20%) shall not count toward the common open area requirement. "Net project area" means all of the land area included within a development project excepting those areas which are designated as primary vehicular circulation driveways, drive aisles, parking areas, stormwater retention system (above and underground), public parks, and other uses or easements which preclude the use of the land therein as part of the development project.*
- (5) *Active Recreation Area equals the percent of common open area suitable for active recreational uses such as: swimming pool, spa and related facilities; clubhouse; tot lot with play equipment; court game facilities such as tennis, basketball or racquetball; improved softball or other playfields; or similar facilities for active recreational use.*
- (6) *Lot coverage means the cumulative ground floor area of the structures on a lot expressed as a percentage of the net lot area. For purposes of this definition, "ground floor area" means all enclosed area within the ground floor of a structure, including exterior walls and mechanical spaces. Carports, garages, accessory buildings and parking structures are included in ground floor area but swimming pools and unenclosed post-supported roofs over patios and walkways are not included and "net lot area" means the horizontal land area within a lot expressed in square feet, acres, or other area measurement.*
- (7) *Number given is minimum building setback depth from the street right-of-way. In addition to the required landscape setback, the building setback may contain parking, driveways, and similar facilities.*
- (8) *The number given is the minimum landscaped depth from the street right-of-way. The remaining building setback may contain parking, driveways, and similar facilities. Section 9.90.040 of the La Quinta Municipal Code requires that buildings within 150 feet of any general plan image corridor and major or primary arterials not exceed 22 feet in height. Table 7 revises this standard to 28 feet within 150 feet of an image corridor to allow for architectural features and enhancements. RES 4 and RES 6 are the only buildings located within 150 feet of Jefferson Street and proposes 2-story townhomes. The primary building structure height is 22 feet; however, the decorative roof/cap extends an additional six feet for a total height of 28 feet. The decorative roof is an architectural feature that adds to the aesthetic value of the project.*

## **V. DESIGN GUIDELINES**

Design Guidelines have been developed as a method of achieving a high quality and cohesive design character for the development of the Specific Plan area. They provide specific design criteria for the development of the project, as well as encourage creativity, imagination, and harmony consistent with the surrounding community. Adherence to the Design Guidelines will create a desirable asset to the community and enhance the project's overall value.

These guidelines will govern the design quality of the project in the following ways:

- To provide the City with the necessary assurance that the Specific Plan area is developed in accordance with the quality and character proposed;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission, and the City Council in the review of construction plans for the Specific Plan area.

### **A. RETAIL ARCHITECTURAL GUIDELINES (PA1 AND PA2)**

Retail architectural design shall strive to achieve a Mediterranean style architecture. In utilizing elements from this vernacular, the retail buildings should achieve a massing and scale that is comforting and pleasing. Textured plaster, deep canopies, and trellises allow for contrast and shade, while simplified cornice detailing and the use of color unifies the different building elements within the complex. Figures 18, 19, 20, and 21 illustrate the typical building elevations and use of the vernacular to unify and provide a sense of scale for the in-line tenants. The figures also illustrate the use of the vernacular for a typical outlying pad building and how the architectural style is continuous around the exterior of the pad building. The elevations used for the Specific Plan provide a basis for acceptable design and materials for the various buildings in PA1 and PA2 and do not deem to illustrate specific examples of building design or building occupants.

Through the use of extensive canopies, trellises, landscaping, sidewalks, and patios, the Specific Plan area achieves a campus like environment, suitable for pedestrian movement between the various uses throughout the project area.

#### **Mass & Scale**

- Varied proportions are encouraged. Elements in facades should be spaced at regular intervals to create a visual rhythm. Plaster pop-outs on the building sides, where not beneath an arcade, shall be 3'-5' in depth, or to the satisfaction of the Planning Director.
- Each building will incorporate a continuity of mass, scale, architectural features, and similar detailing.
- The facade of in-line retail stores shall be off-set to help break up building mass and give the appearance of multiple buildings.
- Accent features such as medallions, awnings, and color banding should be utilized/encouraged for continuity of scale between the elements/buildings.

#### **Roof Treatments**

- Appropriate use of flat, hip, shed, and pitched gable roof forms are encouraged.
- Flat roofs may be used with a parapet alone, or in combination with other roof forms.

- The use of variable ridge lines on a single structure is encouraged.
- Roof pitch may vary between buildings in the complex.
- Mechanical equipment may be placed only on flat portions of roofs provided that they are screened from public view and that the screening is incorporated into building design.
- Roof pitch on any one structure should be consistent within the limitations of the material being used.

### **Architectural Features and Details**

- All mechanical equipment including fuse boxes, heating and cooling devices, and satellite dishes shall be screened from public view. The building parapet heights shall be adjusted so that roof elements are screened from view.
- The use of curtain walls is not allowed.
- Separate screening walls shall only be used as an exception and shall be designed to utilize building materials and colors.
- Exterior walls should emphasize shadow relief using recesses, medallions, covered walkways, trellises, and landscaping where appropriate.
- Building entryways should be visually emphasized and try to keep sense of pedestrian scale.
- Shaded walkways are encouraged in areas with high levels of pedestrian traffic.
- Conversion of first floor windows to exterior tenant entries is allowed subject to Staff approval of architectural details.
- Accent at corners of pad buildings by using small tower features is encouraged.

### **Walls and Fences**

- Walls are encouraged to use materials and colors which match or compliment associated/adjacent buildings and context.
- Walls that create long, unbroken straight lines should be avoided, when possible, by varying the parapets or with use of color and accents.

### **Materials & Colors**

- The facade plays an integral role in building appearance and should use a continuous palette of similar materials and colors.
- Restraint should be exercised in the number of materials and colors selected for a given structure.
- Acceptable construction materials are steel, wood, stucco, concrete, plaster, ceramic tile, natural stone, aluminum, and glass.
- Architectural details should be painted to match the facade.
- The following identifies the general colors and materials which will serve as a working palette to provide a basis of establishing architectural cohesiveness for the project (changes may occur at time of Architectural review).
- It should be noted that the below mentioned colors are suggestions, and deviations are permitted with City approval.
- Trellis structures shall be color finished metal tube structures or canvas awnings.
- Paint Colors: (Manufacturer: Dunn Edwards Paint Company, Sherwin Williams, or equal)

Main Building Colors: These colors would be used on large wall surfaces but could also be used as accents.

Paint

1. Amber Dawn #DE2277
2. Biscuit #DE5330
3. Golden Crest #DE5353
4. Crossroads #DE5359
5. Lustrous Yellow #DE5472
6. Aloe Plant #DE5563
7. Light Aspiration #DE6185
8. Rattan Basket #DE6201
9. Calico Rock #DE6229
10. Union Springs #DE6243
11. Mesa Tan #DEC718
12. Adobe #DEC726
13. Agreeable Gray SW 7029
14. Downing Stone SW 2821
15. Techno Gray SW 6170
16. Dovetail SW 7018
17. Studio Clay SW 9172
18. Granite Peak SW 6250

Trim Colors

1. Calla Lily #DE5498
2. Marble Dust #DE6156
3. Porous Stone #DE6220
4. Pepper Shake SWVS 435
5. Urbane Bronze SW 7048
6. Cocoon SW 6173

Stone

Eldorado Stone  
Bouquet / Flintstone

Roof Tile

Monier Lifetile  
Type: Slate  
Color: Cherrywood

Metal Awnings

Berridge Double Rib Panel  
Colors: Hartford Green & Colonial Red

Exterior Cement Plaster

Finish: Smooth, hand troweled and painted with elastomeric paint  
Color: Refer to Paint Colors

Windows

Material: Steel or Aluminum Frames with true divided lights

Color: Ral #502 I

Glazing: Clear [Light to Medium Bronze Tint with prior written approval]

Hardscape Color Accents

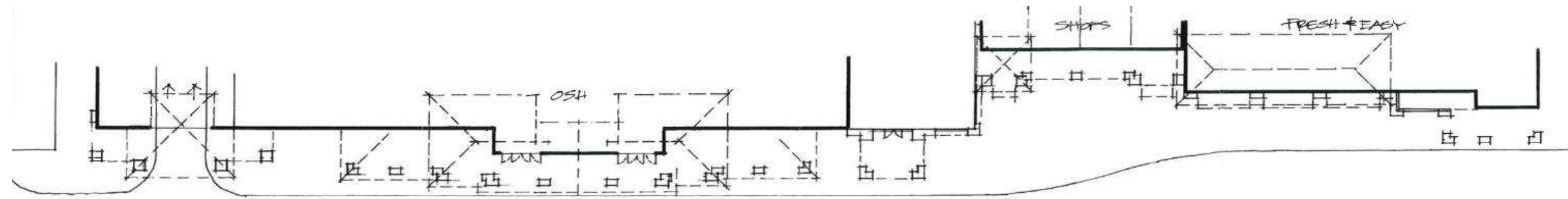
Chromix

#C-26 Antique Cork

#C-27 Westwood Brown

Vents

Tri Black SW 6258



EAST ELEVATION  
SCALE=1/16":1'-0"



SOUTH ELEVATION  
SCALE=1/16":1'-0"



NORTH ELEVATION  
SCALE=1/16":1'-0"



WEST ELEVATION  
SCALE=1/16":1'-0"

Figure 18: Example of Inline Retail



NORTH ELEVATION

SCALE = 1/16" = 1'-0"



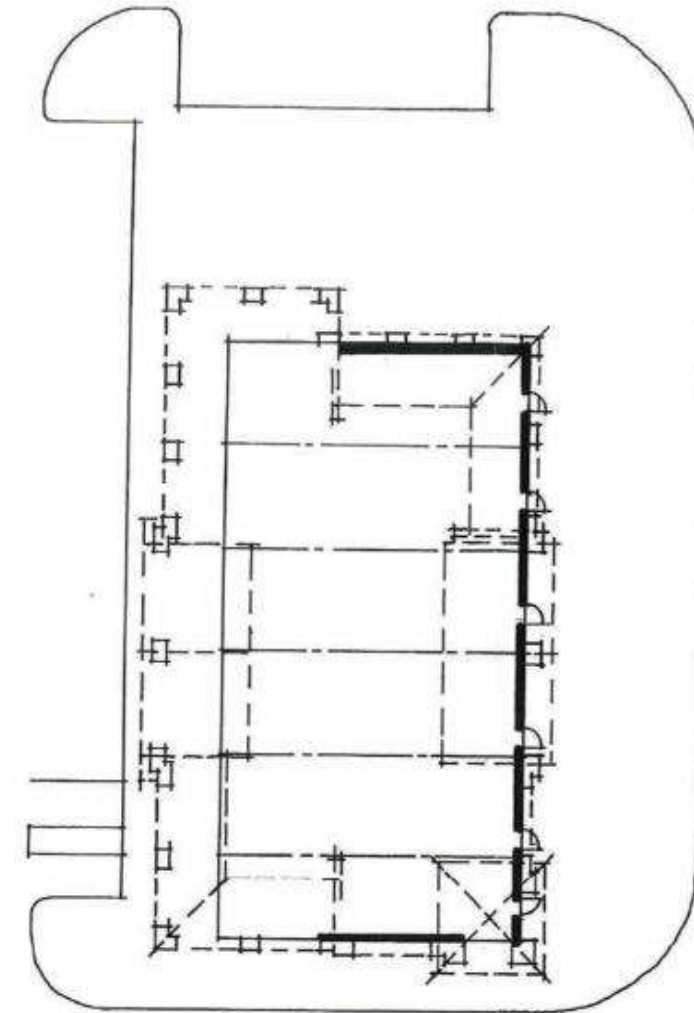
EAST ELEVATION

SCALE = 1/16" = 1'-0"



SOUTH ELEVATION

SCALE = 1/16" = 1'-0"



PARTIAL PLAN

SCALE = 1/16" = 1'-0"



WEST ELEVATION

SCALE = 1/16" = 1'-0"

Figure 19: Example of Retail Shop Building





**NORTH ELEVATION**

SCALE = 1/16" = 1'-0"



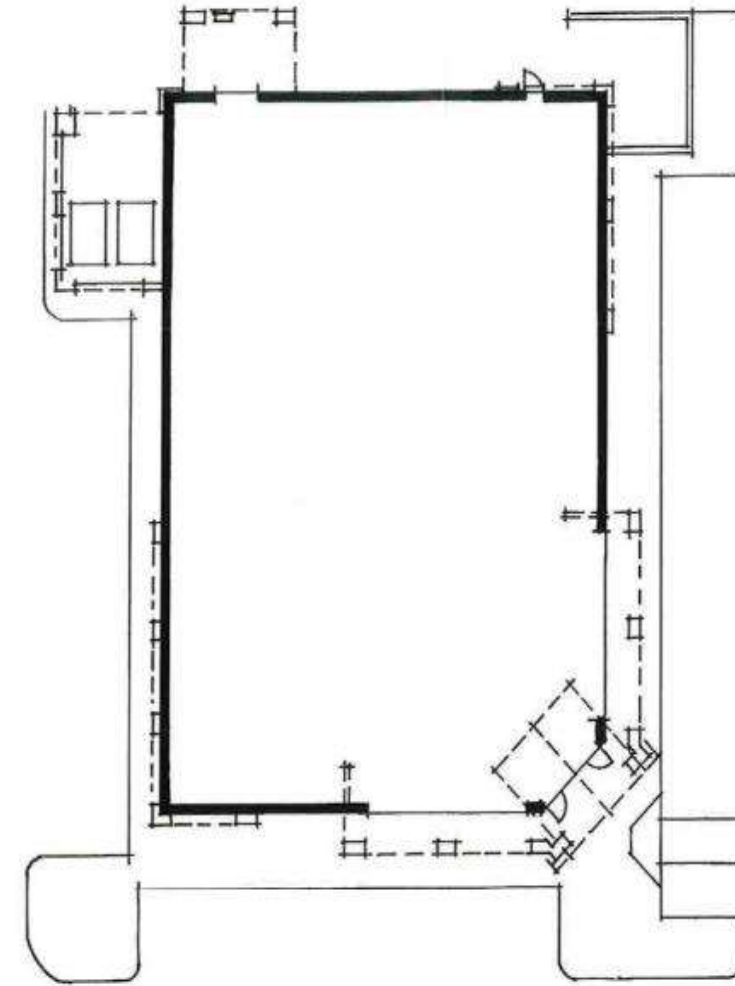
**EAST ELEVATION**

SCALE = 1/16" = 1'-0"



**SOUTH ELEVATION**

SCALE = 1/16" = 1'-0"



**PARTIAL PLAN**

SCALE = 1/16" = 1'-0"



**WEST ELEVATION**

SCALE = 1/16" = 1'-0"

**Figure 20: Example of Corner Anchor Building**



NORTH ELEVATION

SCALE = 1/16" = 1'-0"



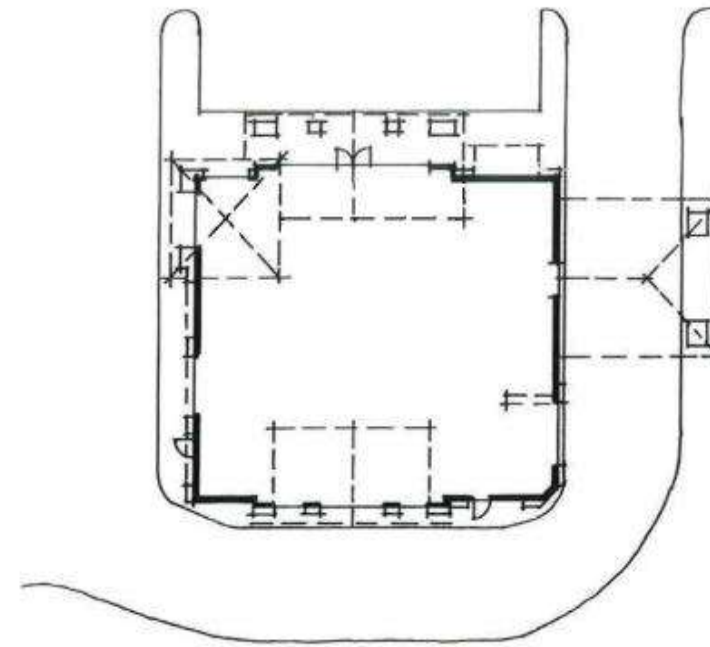
EAST ELEVATION

SCALE = 1/16" = 1'-0"



SOUTH ELEVATION

SCALE = 1/16" = 1'-0"



PARTIAL PLAN

SCALE = 1/16" = 1'-0"



WEST ELEVATION

SCALE = 1/16" = 1'-0"

Figure 21: Example of Retail Pad Building

## **B. RESIDENTIAL ARCHITECTURAL GUIDELINES (PA2)**

The residential architectural guidelines provided in this section focus on multifamily design. Retail construction in PA2 would adhere to the architectural guidelines described in Section V. A. Retail Architecture Guidelines. Multifamily design shall strive to achieve a contemporary Mediterranean architecture, as opposed to the more traditional architecture sought in PA1. PA2 architecture shall utilize elements from the existing retail vernacular, but at a more residential scale. Multifamily developments shall achieve a massing and scale that is both comforting and pleasing. Textured plaster, deep balconies, and trellises allow for contrast and shade, while simplified cornice detailing and the use of color unify the different building elements within the complex. Figures 22, 23, 24 and 25 illustrate examples of acceptable building elevations and use of the vernacular to unify and provide a sense of scale. The figures also illustrate the use of the vernacular for a typical outlying townhome building and how the architectural style is continuous with the other multifamily buildings. The elevations shown in this section provide a basis for acceptable design and materials for the various buildings in PA2 and do not illustrate specific examples of building design.

### **Mass & Scale**

- Mediterranean architecture emphasizes harmony and balance in its design. Each building shall maintain proportional relationships between various elements, such as windows, doors, arches, and columns, to achieve a pleasing visual balance.
- Utilize courtyards, arcades, and patios to break up the overall mass and create a sense of openness and connection with the outdoors.
- Varied proportions are encouraged. Elements in facades should be spaced at regular intervals to create a visual rhythm.
- Each building will incorporate a continuity of mass, scale, and architectural features and similar detailing.
- Accent features such as awnings and color banding should be encouraged for continuity of scale between the elements/buildings.

### **Roof Treatments**

- Roofs play a crucial role in Mediterranean architecture. Use of flat, hip, shed, and pitched roofs are encouraged.
- Exposed roof materials shall consist of clay tiles or shingles that blend harmoniously with architectural elements, materials, and colors.
- Flat roofs may be used with a parapet alone, or in combination with other roof forms.
- The use of variable ridge lines on a single structure is encouraged.
- Roof pitch may vary between buildings.
- Mechanical equipment may be placed only on flat portions of roofs provided that it is screened from public view and that the screening is incorporated into building design.
- Roof pitch on any one structure should be consistent within the limitations of the material being used.

### **Architectural Features and Details**

- Mediterranean architecture often features an abundance of windows and openings to facilitate natural ventilation and light.
- All mechanical equipment including fuse boxes, heating and cooling equipment, and satellite dishes shall be screened from public view. The building parapet heights shall be adjusted so that roof elements are screened from view.
- The use of curtain walls is not allowed.
- Separate screening walls shall only be used as an exception and shall be designed to utilize building materials and colors.
- Exterior walls should emphasize shadow relief using recesses, covered walkways, trellises, and landscaping where appropriate.
- Building entryways should be visually emphasized and keep a sense of pedestrian scale.
- Corner accents using tower features are encouraged.

### **Walls and Fences**

- Walls shall use materials and colors which match or complement associated/adjacent buildings and context.
- Walls that create long, unbroken straight lines should be avoided, by varying the parapets or with use of color and accents.

### **Spatial Organization**

- Organize interior spaces to flow naturally and create a sense of openness and airiness.
- Emphasize connections to outdoor areas, like patios and gardens, which are essential features of Mediterranean living.
- Through the use of extensive balconies, trellises, landscaping, sidewalks, and patios, PA2 should achieve a campus like environment, suitable for pedestrian movement between the various uses throughout the project area.

### **Materials & Colors**

- The façade plays an integral role in building appearance and should use a continuous palette of similar materials and colors.
- Choose local materials that complement the surrounding environment. Common materials include steel, wood, concrete, plaster, ceramic tile, aluminum, glass, stone, and stucco.
- Use textured finishes on walls to add depth and interest to the façade without overwhelming the building's scale.
- Restraint should be exercised in the number of materials and colors selected for a given structure.
- Architectural details should be painted to match the facade.
- Trellis structures shall be color finished metal tube structures or canvas awnings.
- The following identifies the general colors and materials which will serve as a working palette to provide a basis of establishing architectural cohesiveness for the project. It should be noted that the below mentioned colors are suggestions, and deviations are permitted with City approval.
- Paint Colors: (Manufacturer: Dunn Edwards Paint Company, Sherwin Williams, or equal)

Main Building Colors These colors would be used on large wall surfaces but could also be used as accents.

Paint

1. Amber Dawn #DE2277
2. Biscuit #DE5330
3. Golden Crest #DE5353
4. Crossroads #DE5359
5. Lustrous Yellow #DE5472
6. Aloe Plant #DE5563
7. Light Aspiration #DE6185
8. Rattan Basket #DE6201
9. Calico Rock #DE6229
10. Union Springs #DE6243
11. Mesa Tan #DEC718
12. Adobe #DEC726
13. Agreeable Gray SW 7029
14. Downing Stone SW 2821
15. Techno Gray SW 6170
16. Dovetail SW 7018
17. Studio Clay SW 9172
18. Granite Peak SW 6250
19. Whisper #DEW340 (Or equivalent)

Trim Colors

1. Calla Lily #DE5498
2. Marble Dust #DE6156
3. Porous Stone #DE6220
4. Pepper Shake SWVS 435
5. Urbane Bronze SW 7048
6. Cocoon SW 6173
7. Stockhorse #DE6126 (Or equivalent)

Stone

Eldorado Stone  
 Bouquet / Flintstone  
 French Limestone: Country Beige (Or equivalent)

Roof Tile

Monier Lifetile  
 Type: Slate  
 Color: Cherrywood

Eagle Tile

Series: Malib  
 Color: SMM 8820 Santa Clara Blend (Or equivalent)

Awnings

Berridge Double Rib Panel

Colors: Hartford Green & Colonial Red

Sunbrella (Fabric)

Colors: I4617 Hogan Flame (Or equivalent)

Exterior Cement Plaster

Finish: Smooth, hand troweled and painted with elastomeric paint

Color: Refer to Paint Colors

Windows

Material: Steel or Aluminum Frames with true divided lights

Color: Black

Glazing: Clear

Material: Aluminum Storefront Window

Color: Black

Glazing: Clear

Hardscape Color Accents

Chromix

#C-26 Antique Cor

#C-27 Westwood Brown



Bldg 1 - East Elevation 2  
SCALE: 1/8" = 1'-0"



Bldg 1 - North Elevation 1  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
  - WALLS SEPARATING DWELLING UNITS
  - CORRIDOR WALLS
- REFER TO CIVIL DWGS FOR UTILITY LOCATIONS & CONNECTIONS.

**KEYNOTES**

1 SMOOTH FINISH STUCCO, WHITE	9 GLASS AND ALUMINUM STOREFRONT SYSTEM, BLACK
2 SMOOTH FINISH STUCCO, BEIGE	10 METAL ADDRESS NUMBERS
3 SMOOTH FINISH, TAN	11 STAIR / ELEVATOR TOWER - EXEMPT FROM BLDG HEIGHT
4 STONE, FACADE LIGHT	12 TRANSFORMER
5 ROOF, WOOD STRUCTURAL, BEIGE SAND	13 RESIDENTIAL LOBBY ENTRANCE
6 ROOF, TILE, SPANISH GREY	14 METAL RAILING, BLACK
7 ROOF DECK	15
8 FIBREX WINDOWS, FRAME COLOR BLACK, CLEAR GLASS	

**LEGEND**

	STONE, FACADE LIGHT
	STUCCO, WHITE
	ACCENT PANEL
	TILE, SPANISH GREY

Figure 22: Example of 3-Story Multifamily Building



**GENERAL NOTES**

1. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
2. TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
3. WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
4. PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
  - WALLS SEPARATING DWELLING UNITS
  - CORRIDOR WALLS

5. REFER TO CIVIL DWGS FOR UTILITY LOCATIONS & CONNECTIONS.

**KEYNOTES**

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. SMOOTH FINISH STUCCO, WHITE</li> <li>2. SMOOTH FINISH STUCCO, BEIGE</li> <li>3. SMOOTH FINISH, TAN</li> <li>4. STONE, FACADE LIGHT</li> <li>5. ROOF, WOOD STRUCTURAL, BEIGE SAND</li> <li>6. ROOF, TILE, SPANISH GREY</li> <li>7. ROOF DECK</li> <li>8. FIBREX WINDOWS, FRAME COLOR BLACK, CLEAR GLASS</li> </ol> | <ol style="list-style-type: none"> <li>9. GLASS AND ALUMINUM STOREFRONT SYSTEM, BLACK</li> <li>10. METAL ADDRESS NUMBERS</li> <li>11. STAIR / ELEVATOR TOWER - EXEMPT FROM BLDG HEIGHT</li> <li>12. TRANSFORMER</li> <li>13. RESIDENTIAL LOBBY ENTRANCE</li> <li>14. METAL RAILING, BLACK</li> <li>15.</li> </ol> |
|---|---|

**LEGEND**

- |  |                     |
|--|---------------------|
|  | STONE, FACADE LIGHT |
|  | STUCCO, WHITE       |
|  | ACCENT PANEL        |
|  | TILE, SPANISH GREY  |

Figure 22: Example of 3-Story Multifamily Building





GENERAL NOTES

1. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
2. TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
3. WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
4. PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
  - WALLS SEPARATING DWELLING UNITS
  - CORRIDOR WALLS
5. REFER TO CIVIL DWGS FOR UTILITY LOCATIONS & CONNECTIONS.

KEYNOTES

- |  |   |                 |
|--|---|-----------------|
| 1 SMOOTH FINISH STUCCO, WHITE                            | 8 CEMENT BOARD DECORATIVE PANEL PAINTED, SEE COLOR MATERIAL BOARD | 16 WOOD TRELLIS |
| 2 CORNICE / TRIM SMOOTH FINISH, SEE COLOR MATERIAL BOARD | 9 WOOD PERGOLA  |                 |
| 3 STONE, SEE COLOR MATERIAL BOARD                        | 10 SCREEN WALL PER LANDSCAPE                                      |                 |
| 4 ALUMINUM DOORS, FRAME COLOR BLACK, CLEAR GLASS         | 11 LIGHT FIXTURE, SEE LIGHTING PLANS                              |                 |
| 5 TILE ROOF, SEE COLOR MATERIAL BOARD                    | 12 METAL RAILING, BLACK   |                 |
| 6 ROOF PARAPET   | 13 4 1/2" PLASTER / STONE WALL                                    |                 |
| 7 ALUMINUM WINDOWS, FRAME COLOR BLACK, CLEAR GLASS       | 14 6'-0" PLASTER / STONE PATIO WALL                               |                 |
|  | 15 FIRE DEPT ADDRESS TYP  |                 |

LEGEND

- STONE FACADE, SEE COLOR MATERIAL BOARD
- STUCCO, SEE COLOR MATERIAL BOARD
- CEMENT BOARD PANEL, SEE COLOR MATERIAL BOARD
- TILE ROOF, SEE COLOR MATERIAL BOARD

Figure 23: Example of 3-Story Townhome Building



GENERAL NOTES

1. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
2. TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
3. WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
4. PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
  - WALLS SEPARATING DWELLING UNITS
  - CORRIDOR WALLS
5. REFER TO CIVIL DWGS FOR UTILITY LOCATIONS & CONNECTIONS.

KEYNOTES

- |   |  |                  |
|---|--|------------------|
| 1. SMOOTH FINISH STUCCO, WHITE                            | 8. CEMENT BOARD DECORATIVE PANEL PAINTED. SEE COLOR MATERIAL BOARD | 16. WOOD TRELLIS |
| 2. CORNICE / TRIM SMOOTH FINISH. SEE COLOR MATERIAL BOARD | 9. WOOD PERGOLA  |                  |
| 3. STONE, SEE COLOR MATERIAL BOARD                        | 10. METAL GATE, BLACK  |                  |
| 4. ALUMINUM DOORS, FRAME COLOR BLACK, CLEAR GLASS         | 11. LIGHT FIXTURE, SEE LIGHTING PLANS                              |                  |
| 5. TILE ROOF, SEE COLOR MATERIAL BOARD                    | 12. METAL RAILING, BLACK   |                  |
| 6. ROOF PARAPET   | 13. 42" PLASTER / STONE WALL                                       |                  |
| 7. ALUMINUM WINDOWS, FRAME COLOR BLACK, CLEAR GLASS       | 14. 6'-0" PLASTER / STONE PATIO WALL                               |                  |
|   | 15. FIRE DEPT ADDRESS TYP  |                  |

LEGEND

- STONE FACADE, SEE COLOR MATERIAL BOARD
- STUCCO, SEE COLOR MATERIAL BOARD
- CEMENT BOARD PANEL, SEE COLOR MATERIAL BOARD
- TILE ROOF, SEE COLOR MATERIAL BOARD

Figure 23: Example of 3-Story Townhome Building



**GENERAL NOTES**

- 1. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
- 2. TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
- 3. WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
- 4. PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
  - WALLS SEPARATING DWELLING UNITS
  - CORRIDOR WALLS
- 5. REFER TO CIVIL DWGS FOR UTILITY LOCATIONS & CONNECTIONS.

**KEYNOTES**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1 SMOOTH FINISH STUCCO, WHITE</li> <li>2 CORNICE / TRIM SMOOTH FINISH, SEE COLOR MATERIAL BOARD</li> <li>3 STONE, SEE COLOR MATERIAL BOARD</li> <li>4 ALUMINUM DOORS, FRAME COLOR BLACK, CLEAR GLASS</li> <li>5 TILE ROOF, SEE COLOR MATERIAL BOARD</li> <li>6 ROOF PARAPET</li> <li>7 ALUMINUM WINDOWS, FRAME COLOR BLACK, CLEAR GLASS</li> </ul> | <ul style="list-style-type: none"> <li>8 CEMENT BOARD DECORATIVE PANEL PAINTED, SEE COLOR MATERIAL BOARD</li> <li>9 WOOD PERGOLA</li> <li>10 SCREEN WALL PER LANDSCAPE</li> <li>11 LIGHT FIXTURE, SEE LIGHTING PLANS</li> <li>12 METAL RAILING, BLACK</li> <li>13 NOT USED</li> <li>14 PATIO WALL, STONE</li> <li>15 NOT USED</li> </ul> |
|---|--|

**LEGEND**

- STONE FACADE, SEE COLOR MATERIAL BOARD
- STUCCO, SEE COLOR MATERIAL BOARD
- CEMENT BOARD PANEL, SEE COLOR MATERIAL BOARD
- TILE ROOF, SEE COLOR MATERIAL BOARD

**Figure 24: Example of 2- & 3-Story Townhome Building**



**GENERAL NOTES**

1. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.
2. TYPICAL DIMENSIONS ARE TO FACE OF STRUCTURE WHICH IS FACE OF CONCRETE, FACE OF STUD, OR FACE OF SHEATHING AS OCCURS.
3. WHERE EXTRA LAYER OF GYPSUM BOARD IS REQUIRED FOR FIRE RATING ADD EXTRA LAYER TO ENTIRE LENGTH OF WALL, SO THERE IS NO JOG IN FINISHED SURFACE.
4. PROVIDE FIRE PARTITION IN ACCORDANCE WITH CBC 709.1 FOR:
  - WALLS SEPARATING DWELLING UNITS
  - CORRIDOR WALLS
5. REFER TO CIVIL DWGS FOR UTILITY LOCATIONS & CONNECTIONS.

**KEYNOTES**

- |  |   |
|--|---|
| 1 SMOOTH FINISH STUCCO, WHITE                            | 8 CEMENT BOARD DECORATIVE PANEL PAINTED, SEE COLOR MATERIAL BOARD |
| 2 CORNICE / TRIM SMOOTH FINISH, SEE COLOR MATERIAL BOARD | 9 WOOD PERGOLA  |
| 3 STONE, SEE COLOR MATERIAL BOARD                        | 10 NOT USED   |
| 4 ALUMINUM DOORS, FRAME COLOR BLACK, CLEAR GLASS         | 11 LIGHT FIXTURE, SEE LIGHTING PLANS                              |
| 5 TILE ROOF, SEE COLOR MATERIAL BOARD                    | 12 METAL RAILING, BLACK   |
| 6 ROOF PARAPET   | 13 PATIO GATE, BLACK  |
| 7 ALUMINUM WINDOWS, FRAME COLOR BLACK, CLEAR GLASS       | 14 PATIO WALL, STONE  |
|  | 15 NOT USED   |

**LEGEND**

-  STONE FACADE, SEE COLOR MATERIAL BOARD
-  STUCCO, SEE COLOR MATERIAL BOARD
-  CEMENT BOARD PANEL, SEE COLOR MATERIAL BOARD
-  TILE ROOF, SEE COLOR MATERIAL BOARD

**Figure 25: Example of 2-Story Townhome Building**

### **C. SITE SIGN GUIDELINES**

A master sign program for the Specific Plan area has been approved under a separate sign permit. The approved sign program provides guidelines necessary to achieve a visually coordinated, balanced, and appealing sign environment, harmonious with the architecture of the Specific Plan area, while maintaining provisions for individual graphic expression. The developer shall secure sign permits for any new buildings from the City's Building and Safety Department by submitting three (3) copies of fully dimensioned scaled drawings as follows:

- a) A site plan showing the location of the proposed signage on the site.
- b) An elevation of the building drawn to scale showing sign placement.
- c) A detailed elevation of the sign drawn to scale and showing all colors, materials, dimensions, and copy.
- d) Fabrication and installation details, including structural and engineering data, UL electrical specification, and type and intensity of illumination (for electrical signs).
- e) Any other drawing, details, and information as required by the City.

### **D. SITE LIGHTING GUIDELINES**

#### **Commercial Lighting Guidelines**

- Exterior lighting, when used, should enhance the building design and the adjoining landscape.
- Lighting standards and building fixtures should be of a design and size compatible with the building and adjacent areas.
- Lighting shall be restrained in design and excessive brightness (night glow) avoided.
- Standard design techniques will be employed to shield parking light fixtures from adjacent land uses and control direct glare and spill light emanating from these fixtures.
- Parking lot light poles will be equipped with a recessed lamp and a flush lens and shall not exceed a maximum height of 18 feet throughout the site.
- The average foot candles (FC) for the project site would be 1.8 FC, with a maximum of 4.9 FC and a minimum of 0.7 FC.

#### **Multifamily Lighting Guidelines**

- Residential Parking Lots: 1 FC minimum
- Pedestrian Egress Walkways: 1 FC minimum
- Pedestrian Walkways: 0.25 FC minimum
- Main Entry Roadway: 1 FC minimum
- Internal Roadway Drive Aisles: 0.25 FC minimum

### **E. SITE LANDSCAPE**

The purpose of this section is to establish standards that would contribute to the thematic project image and identity of the Specific Plan area. The Specific Plan landscape design standards establish levels of hierarchy that would provide a varied and high-quality experience at the pedestrian and vehicular level within the project.

Existing Specific Plan area landscape improvements include groundcover, shrubs, and trees along the full site perimeter, street frontages, parking lots, and drive aisles. These improvements reflect

those specified in Amendment No. 2, Section III C. Landscape Plan. A copy of the Amendment No. 2 Preliminary Landscape Plan is provided as Figure 26. Existing landscape design utilizes ornamental material to provide a temperate environment. Parking lot areas are shaded with a combination of Palo Verde and Desert Museum Palo Verde trees. Palm trees are used to provide vertical scale and aesthetic contrasts. Tipu Trees, Acacia, and Chitalpa trees are used to help screen views from adjacent residential areas.

Figure 27 illustrates an example of an acceptable PA2 landscape plan that would build upon the existing Specific Plan area landscape. A multifamily project in PA2 shall include an entry statement at Primary Entry Drive I. In this conceptual plan, an enhanced paving band and project identity sign act as an entry statement at Primary Entry Drive I. Furthermore, the drive is shown to be lined with a combination of tree species including palms, Desert Willows, and Palo Verdes. Like those at the Project intersection, Palm trees are shown along the primary vehicular drives to provide vertical scale and aesthetic contrasts. Palo Verde, Acacia, and Sumac are proposed as canopy trees to screen views from the adjacent single-family residential properties. Shrubs could include Agave, Aloe, Bougainvillea, Bottlebrush, Desert Cassia, Barrel Cactus, Brittlebush, Ocotillo, Red Yucca, Angelita Daisy and Sunset Lantana. Ground covers or gravel mulch may fill in between the shrubs to protect the soil from the sun, evapotranspiration, and run-off. Figure 27: Conceptual Landscape Plan – Multifamily illustrates a 165-foot-long landscaped hedge, measuring 12 feet in height placed south of buildings 5 and 6 along the southern property line to provide additional privacy screening from the adjacent single-family residential homes. Such a hedge would be necessary for any residential building 2 stories or higher located within 75 feet of the southern property line.

The plant materials listed below are approved for use within the specific plan area. Any plant material proposed onsite that is not listed below would require approval by the City of La Quinta Director of Design and Development or designee. The approved plant materials have been chosen for their adaptability to the desert climate, their relationship to the existing surrounding developments, and their intended use and function with the project. A list of the approved species is provided below. Those in bold print represent plant species added with Amendment No. 3.

#### Trees (Common Name)

- Chitalpa
- Mexican Blue Palm
- Palo Verde – *Cercidium Flordium*
- Palo Verde – *Parkinsonia Aculeata*
- Tipu Tree
- Willow Acacia
- African Sumac
- Desert Museum
- Pindo Palm
- **Medjool Date Palm**
- **Olive Tree**
- **Mexican Fan Palm**
- **Texas Mountain Laurel**
- **Southern Magnolia**

- **Silk Tree**

Shrubs (Common Name)

- Red Hot Poker
- Bougainvillea
- Red Bird of Paradise
- Desert Cassia
- Brittlebush
- Ocotillo
- Red Yucca
- Creosote Bush
- Texas Ranger
- Regal Mist
- Autumn Glow
- Deer Grass
- Baja Ruellia
- **Mojo Pittosporum**
- **Icee Blue Yellow-Wood**
- **Little Ollie Dwarf Olive**
- **Foxtail Agave**
- **Aloe**
- **Little John Bottlebrush**
- **Golden Barrel Cactus**
- **Red Yucca**
- **Spanish Dagger**
- **Mexican Fence Post Cactus**

Groundcovers

- Spreading Sunset
- Confetti
- Purple Lantana
- New Gold Lantana
- Angelita Daisy
- Verbena
- **Spreading Sunset Lantana**
- **Creosote Bush**
- **Lockwood De Forest Rosemary**

### Design Guidelines

The guidelines presented herein are not intended to discourage creative design or individuality. Rather, they are intended to assist in providing the continuity and desired image which will make the Specific Plan area a unique and special mixed-use project.

- Ground covers or gravel mulch should be used to enhance the appearance of the Specific Plan area and protect soil from erosion. Acceptable ground cover includes gravel, rocks or living plant materials. Tree bark and shredded wood products, which are lightweight and subject to wind and water erosion, are prohibited in unprotected areas.
- Water efficient landscape materials, including native plants, with drip irrigation should be used wherever possible as a means of conserving water resources and minimizing maintenance costs.
- Landscaping should be designed to screen above ground utility equipment, service areas and trash containers. Homogenous, visually subtle plant materials should be selected for use in these areas in order not to focus attention on the objectionable items.

### **Entryways**

- Areas which serve as a focus of vehicular traffic, such as project entries, should be accented using colorful shrubs and groundcovers for enhanced visual interest. These shrubs and ground covers may include Aloe, Angelita Daisy, Bougainvillea, Golden Barrel Cactus, Purple and gold Lantana, Verbena, and Yucca.
- Project entries should utilize vertical accents such as palm trees to provide a sense of arrival to the facility with matched or varying heights.
- Plant materials at project entries should be located to avoid interfering with motorist sight lines. Plant combinations shall leave an area 30 inches above grade open to allow for unobstructed views of approaching vehicles and pedestrians.

### **Buildings**

- Plant materials should be used to soften long stretches of blank wall surface.
- Landscape materials shall be selected with colors and textures which enhance architectural elements.

### **Streetscapes**

- Streetscapes should incorporate informal masses of trees and shrubs.
- Streetscapes fronting the project should maintain a plant palette and design concept which is compatible with surrounding finished street frontages.

### **Parking Lots**

- Plant material should consist of Lantana groundcover, Palo Verde and Desert Museum trees, and Desert Cassia, Texas Ranger, Muhlenbergia, and Red Yucca shrubs which would allow sight line over shrubs yet provide islands that are green.
- The design of parking lots should include provisions for canopy trees to provide shade for parked vehicles.
- Parking areas should be screened from adjacent roadways using low walls, landscaping, or berms.





Figure 26: Conceptual Landscape Plan - Commercial

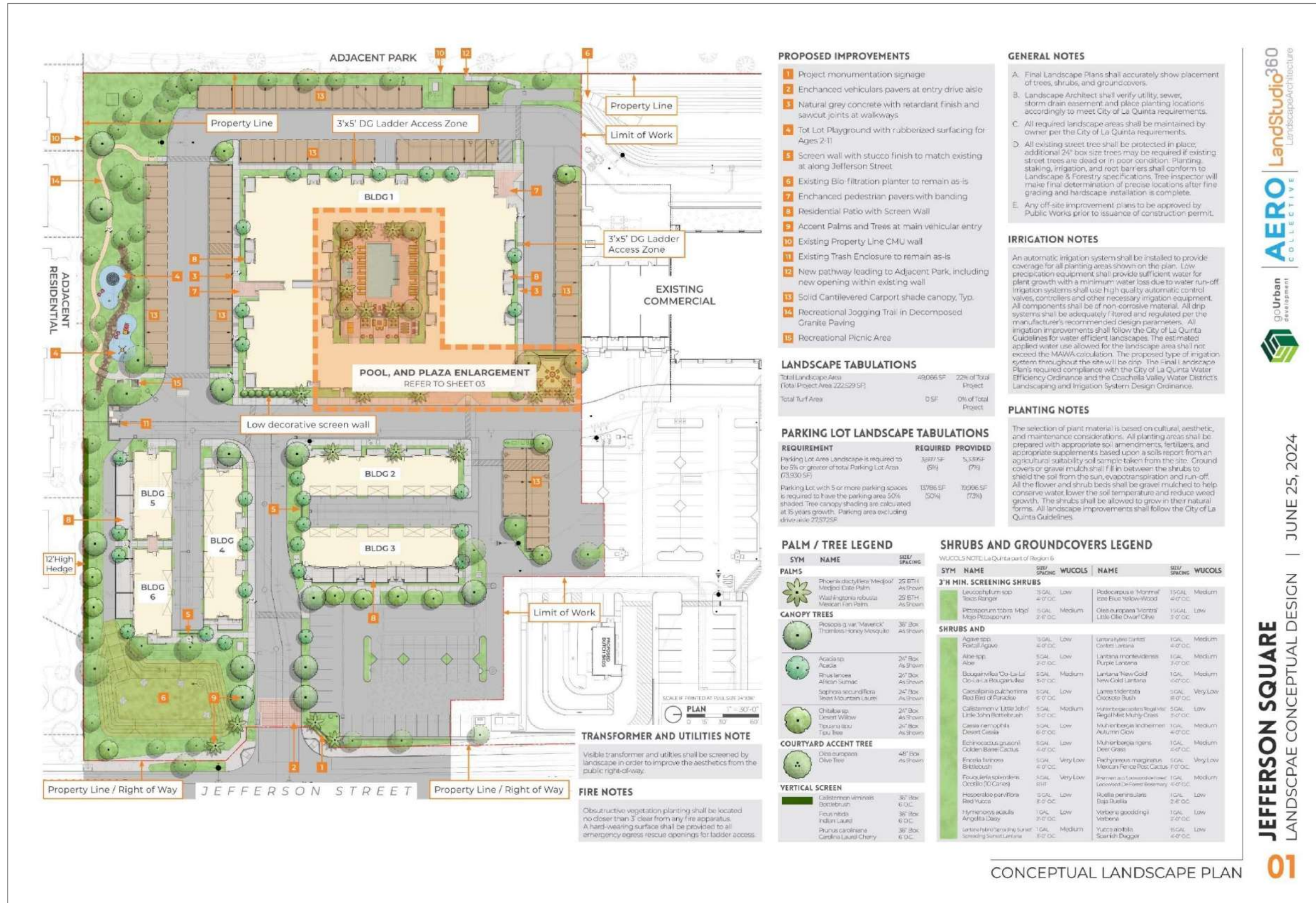


Figure 27: Conceptual Landscape Plan – Multifamily

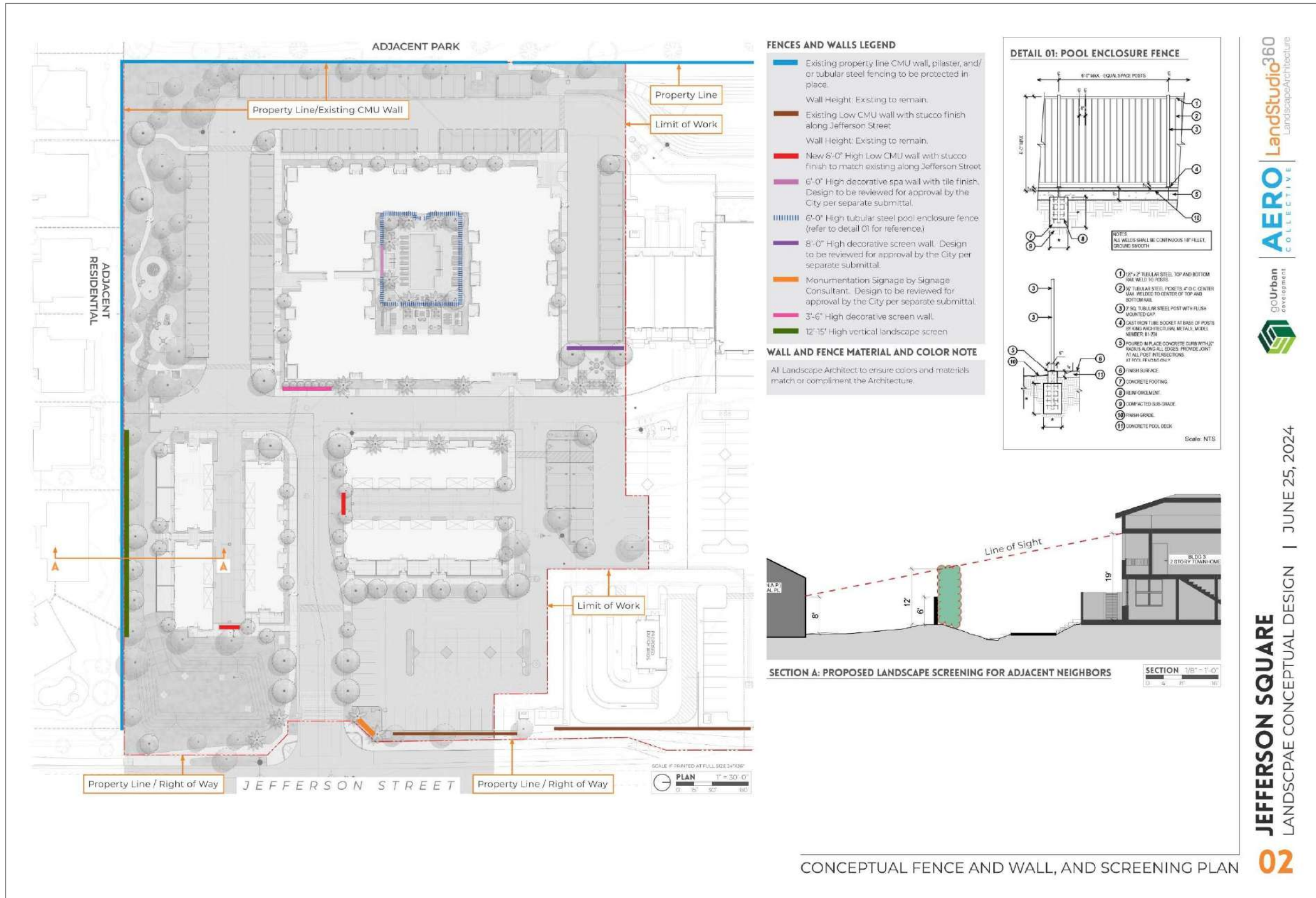


Figure 27: Conceptual Landscape Plan – Multifamily

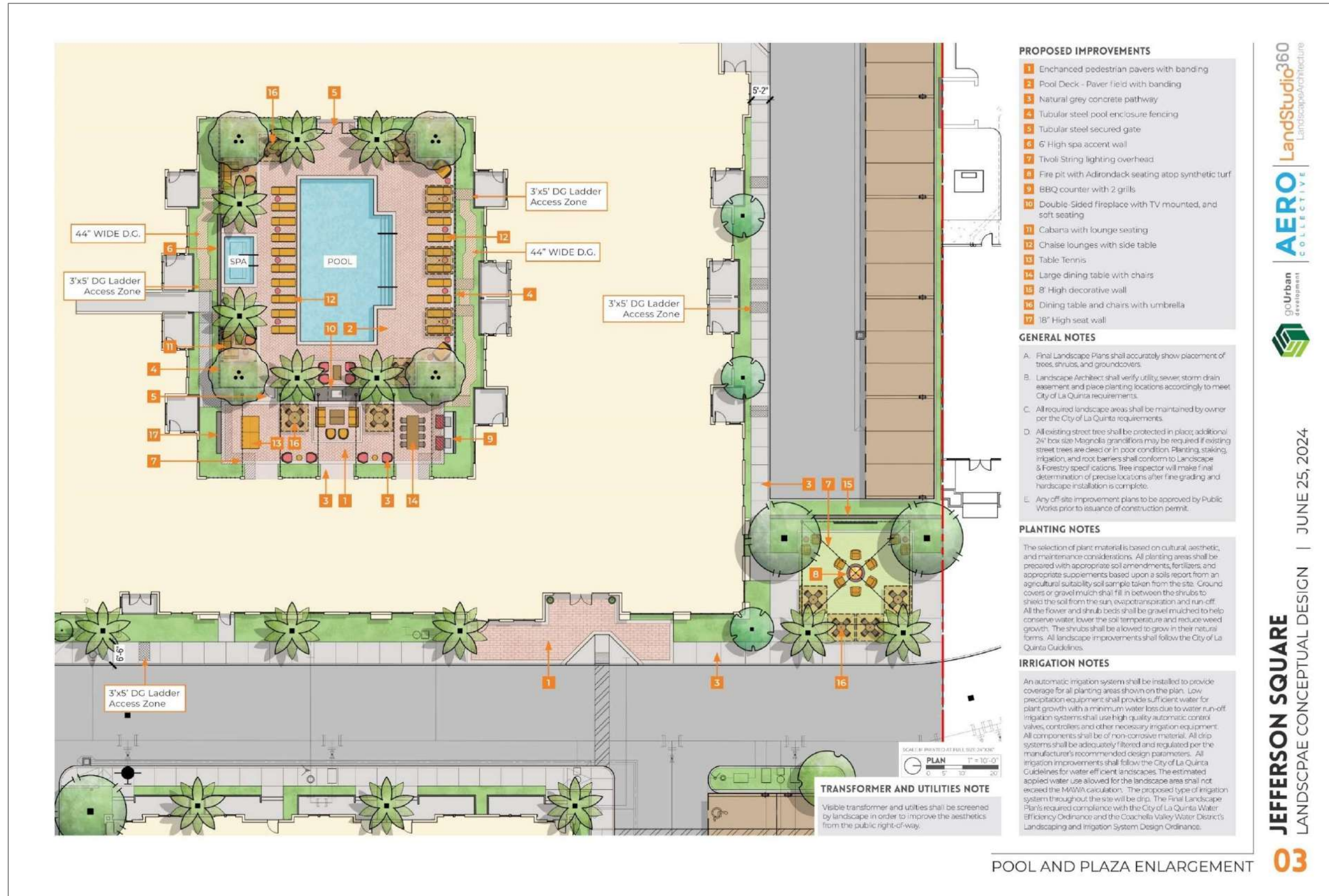


Figure 27: Conceptual Landscape Plan - Multifamily

## **VI. OPERATIONAL GUIDELINES**

### **A. HOURS OF OPERATION**

The retail uses on site will operate from 6:00 AM to 12:00 AM, Monday through Sunday. Any Market or Drug Store would also be open 24 hours a day, seven days a week.

### **B. TRANSPORTATION DEMAND MANAGEMENT**

According to the guidelines contained in the City's Transportation Demand Ordinance (Section 9.180.030), this project may be required to make provisions for transportation demand management. If the City deems necessary, the project shall incorporate the following measures:

- The project shall make provisions for bicycle racks in accordance with the City Zoning Code.
- The project shall identify a Transportation Demand Coordinator to promote participation in TDM programs among employees.
- The TDM Coordinator shall encourage ride sharing, bus ridership, telecommuting, flexible work schedules, and other TDM programs as feasible and appropriate.

### **C. MAINTENANCE**

Maintenance of buildings, parking facilities, common walkways and landscaped areas, sewers, drainage facilities, utilities, and any other improvements not dedicated to public use shall be maintained by the project's Building Management Association. Residential units shall be maintained by the Residential Property Manager. On-site facilities and landscaping shall be maintained in a clean, attractive, and safe condition in accordance with City regulations.

## **VII. PLAN ADMINISTRATION AND IMPLEMENTATION**

The purpose of this section is to provide an outline of the steps necessary to implement the Specific Plan and applicable conditions, mitigation measures, and regulations in coordination with the City and other governing public agencies. The approval of this Specific Plan, and adoption of conditions of approval and a Mitigation Monitoring and Reporting Program (MMRP) will assure that timely mitigation of project impacts take place at the appropriate milestones and in accordance with project implementation.

### **A. ADMINISTRATION**

#### **Administrative Changes**

It is the intent of the Specific Plan to provide design flexibility with respect to the interpretation of this document and any proposed project design programs. Minor modifications to the approved Specific Plan are allowed at the discretion of the Director of Design and Development or designee. Minor Modifications to the Specific Plan must be consistent with the purpose and intent of the Specific Plan. After such an administrative change has been approved, it shall be attached to the Specific Plan as an addendum.

The following minor modifications qualify for an administrative change:

- Modifications necessary to comply with final Conditions of Approval or mitigation measures;
- Addition of information to the Specific Plan (including maps or text) for purposes of clarification that does not change the intent of any plan or regulation, as well as correction of any clerical or grammatical errors;
- Adjustments to the alignment, location and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City's Engineering or Public Works Department so long as the adjustments or changes are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities;
- Variation in the number and type of dwelling units within PA2, so long as the unit count does not exceed 95 units;
- Alternative PA2 amenities in conformance with Section III.B. which align with the needs and desires of the target residents with the intent of creating a vibrant and comfortable community environment;
- Minor (10% or less) adjustments to any of the development standards or regulations listed in Tables 6 and 7 in accordance with LQMC § 9.210.040;
- Changes to the site layout, building design, building materials and colors, landscape materials, entry design, and streetscape design which are consistent with the design criteria set forth in the Design Guidelines of the Specific Plan; and
- Increases or decreases in parcel sizes, so long as any change meets the minimum parcel size requirements of the Specific Plan.

#### **Non-Administrative Changes**

Proposed changes not in conformance with the intent of the Specific Plan shall require City Council approval and be processed in accordance with the procedures provided in LQMC § 9.240.

**B. IMPLEMENTATION**

The implementation of the provisions of this Specific Plan shall be by the following:

- The City of La Quinta Design & Development Department shall enforce the development standards and design guidelines set forth herein.
- In the case of uncertainty or ambiguity in the meaning or intent of any provision of this Specific Plan, the Design and Development Director or designee has the authority to interpret the intent of the provision.
- Any administrative decision or interpretation of this Specific Plan may be appealed to the Planning Commission. Likewise, any decision by the Planning Commission may be appealed to the City Council per LQMC §9.200.110.
- The City of La Quinta shall administer the provisions of this Specific Plan in accordance with the State of California Government Code, Subdivision Map Act, the City of La Quinta General Plan and the LQMC.
- The Specific Plan development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future.
- All regulations, conditions and programs contained herein shall be deemed separate distinct and independent provisions of this Specific Plan. If any such provision is held invalid or unconstitutional, the validity of all the remaining provisions of this Specific Plan shall not be affected.
- Any development regulation and building requirement not addressed in this Specific Plan shall be subject to all relevant City of La Quinta ordinances, codes, and regulations.

**Appendix A**  
**GENERAL PLAN CONSISTENCY ANALYSIS**



LAND USE ELEMENT		
Policy No.	Policy	Consistency
Goal LU-1	Land use compatibility throughout the City.	
Policy LU 1.1	The Land Use Map shall implement the goals and policies of the Land Use Element and the other Elements of this General Plan.	The Specific Plan area is located at the southwest corner of Fred Waring Drive and Jefferson Street. The Specific Plan area Land Use designation is CG General Commercial and is subject to the MU Mixed Use Overlay as introduced in the 2035 General Plan. The Specific Plan area shall serve as a mix of commercial and multifamily uses consistent with the CG General Commercial Land Use designation and MU Mixed Use Overlay District.
Goal LU-2	High quality design that complements and enhances the City.	
Policy LU 2.1	Changes and variations from the Zoning Ordinance in a Specific Plan will be offset by high quality design, amenities and mix of land uses.	This Specific Plan includes land use and development regulations (Section IV) and design guidelines (Section V) that will allow a mix of commercial and multifamily uses of high quality and cohesive design character. Architectural design guidelines require Mediterranean architecture with the use of high-quality finishes and materials, and lush landscape improvements. The Specific Plan area shall include pedestrian connections with a plaza and other pedestrian friendly features. Residents shall benefit from a variety of amenities such as a swimming pool, indoor gym, community room, tot-lots and outdoor walking areas. Pedestrian walkways shall be well landscaped.
Policy LU 2.2	Specific Plans shall be required for projects proposing the integration of recreation, tourist commercial and residential uses; and for all projects proposing flexible development standards that differ from the Zoning Ordinance.	The Specific Plan approval dates back nearly 20 years, followed by the approval of Specific Plan Amendment No. 1 and Specific Plan Amendment No. 2 in 2005 and 2008, respectively. Planning Area 1 is fully built out with nearly 39,000 sq. ft. of commercial retail. Planning Area 2 has remained vacant for nearly 15 years as retail demand has faltered over the past 10 years. Specific Plan Amendment No. 3 provides flexible design standards that differ from the Zoning Ordinance but remain in-line with the City's mixed use overlay development standards.
Policy LU 2.3	The City's outdoor lighting ordinance will be maintained.	The outdoor lighting contained within the site will not produce significant light or glare that would adversely affect day or nighttime views in the area. New light sources will be similar to the existing lighting patterns in the area and will comply with the City's lighting ordinance.
Goal LU-3	Safe and identifiable neighborhoods that provide a sense of place.	

<p>Policy LU 3.1</p>	<p>Encourage the preservation of neighborhood character and assure a consistent and compatible land use pattern.</p>	<p>The Specific Plan area is located at the southwest corner of Fred Waring Drive and Jefferson Street, two major arterial roadways with 120-foot-wide rights-of-way. The Esplanade single-family residential subdivision is located directly across Fred Waring Drive, north of the Specific Plan area. The property to the east of Jefferson Street is within the City of Indio’s jurisdictional boundaries and has been developed as a retail center. The Heritage Palms Golf Resort is located across Jefferson Street to the southeast. Land use immediately west of the site includes an existing well site, City park, and a retention basin associated with the residential Monticello subdivision, which is located further to the west and directly south. The Specific Plan area is separated from the Monticello subdivision and neighboring park by a six-foot-high masonry wall and landscape improvements. The Specific Plan places its housing component (Planning Area 2) to the south of the project to serve as a buffer between the commercial uses and Monticello subdivision. Canopy trees and a 12-foot tall landscaped hedge shall line the southern property line to provide privacy between any proposed 2-story units within 75 feet of the southern property line and adjacent to the existing single-family homes. Planning Area 2 shall be developed with high quality Mediterranean architecture that complements the surrounding communities and existing retail uses.</p>
<p>Policy LU 3.3</p>	<p>Maintain residential development standards including setbacks, height, pad elevations and other design and performance standards that assure a high quality of development in the Zoning Ordinance.</p>	<p>Planning Area 2 of the Specific Plan is a designated mixed-use zone that allows multifamily housing in addition to commercial uses. Section IV B outlines land use and development standards including setbacks, height, parking standards, and other design and performance standards that assure a high quality of development.</p>
<p>Goal LU-4</p>	<p>Maintenance and protection of existing neighborhoods.</p>	
<p>Policy LU 4.1</p>	<p>Encourage compatible development adjacent to existing neighborhoods and infrastructure.</p>	<p>The Specific Plan area is located at the southwest corner of Fred Waring Drive and Jefferson Street, two major arterial roadways. The Specific Plan area is surrounded by single-family residential to the north and south, a city park to the west and retail to the east. The Specific Plan designates two Planning Areas: (i) Planning Area 1 which is located on the northern half of the site closest to the high traffic intersection and designated for commercial retail uses, and (ii) Planning Area 2 which is located on the</p>

		southern half of the site closest to the Monticello subdivision and designated for multifamily or commercial retail uses. Planning Area 2 serves as a buffer between the commercial uses and Monticello subdivision. Water, sewer, electrical, gas and telecommunication utilities are currently stubbed to the site and readily available for future development.
Goal LU-5	A broad range of housing types and choices for all residents of the City.	
Policy LU 5.2	Consider changes in market demand in residential product type to meet the needs of current and future residents.	The City updated the Housing Element in 2022. The City’s RHNA is 1,530 units for the 2022–2029 planning period. The RHNA includes housing planning goals for very low, low, moderate, and above-moderate income households. Table II-30 of the 2022 Housing Element indicates that as of 2019, 78 percent of the City’s housing stock consists of single-family detached units. Multifamily projects in the form of five or more units accounted for a mere 6.5 percent of the City’s housing stock. The Specific Plan designates Planning Area 2 as a potential multifamily project area which would help further diversify the City’s housing offerings with apartments, condominiums, or townhomes. These units will incorporate current market trends that include the “work from home” spaces, recreational amenities, electric vehicle plugin stations, and water and power efficient fixtures.
Goal LU-6	A balanced and varied economic base which provides a broad range of goods and services to the City’s residents and the region.	
Policy LU 6 I	Commercial land use designations shall allow a full range of retail, office, resort, and institutional businesses in the City.	Planning Area I of the Specific Plan area is an established retail center that offers a wide variety of goods and services.
Goal LU-7	Innovative land uses in the Village and on Highway I I I.	
Policy LU-7.1	Encourage the use of mixed-use development in appropriate locations.	The Specific Plan proposes a horizontally mixed-use development project in an existing commercial retail center. Planning Area 2 of the Specific Plan area remains undeveloped due to low demand for retail uses at this location. The Specific Plan designates Planning Area 2 as a mixed-use zone with the potential for fully integrated multifamily uses on the site.
Policy LU-7.4	Develop incentives for Mixed Use project.  Program LU-7.4a: Consider density bonuses, modified parking requirements, expedited entitlement and building permit processing and fee waivers for Mixed Use projects.	The Specific Plan specifies reduced covered parking standards and parking garage design dimensions. See Table 6.

<b>CIRCULATION ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal CIR-1	A transportation and circulation network that efficiently, safely, and economically moves people, vehicles, and goods using facilities that meet the current demands and projected needs of the City.	
Policy CIR 1.12	As a means of reducing vehicular traffic on major roadways and to reduce vehicle miles traveled by traffic originating in the City, the City shall pursue development of a land use pattern that maximizes interactions between adjacent or nearby land uses.	The Specific Plan allows multifamily in Planning Area 2. A mixed-use development project would provide inter-connections between uses, which would allow residents and businesses to co-exist without conflict and provide residents with adjacent work and shopping opportunities that do not necessitate vehicle travel. Having commercial uses close by inherently encourages walking and bicycle-riding rather than driving a car.
Goal CIR-2	A circulation system that promotes and enhances transit, alternative vehicle, bicycle, and pedestrian networks.	
Policy CIR-2.3	Develop and encourage the use of continuous and convenient pedestrian and bicycle routes and multi-use paths to places of employment, recreation, shopping, schools, and other high activity areas with potential for increased pedestrian, bicycle, golf cart /NEV modes of travel.	The project would provide inter-connections between uses, allowing residents and businesses to co-exist without conflict, and providing residents with work and shopping opportunities that do not include their cars. Having commercial uses close by inherently encourages walking and bicycle-riding rather than driving a car. Multifamily development amenities could include a bicycle storage room to further encourage the use of bicycles. Finally, nearby Sunline Transit stops are located on Fred Warning Drive. The project also provides a direct pedestrian connection to Monticello Park for guests and residents.

<b>LIVABLE COMMUNITY ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal SC-1	A community that provides the best possible quality of life for all its residents.	
Policy SC 1.2	Reduce water consumption at a minimum consistent with the Greenhouse Gas Reduction Plan (also see Air Quality Element).	The development will meet the CALGreen code which requires water conservation, high efficiency plumbing fixtures and fittings such as toilets, water heaters and faucets. Water efficient landscape materials, including drought tolerant plants, with drip irrigation will be used wherever possible as a means of conserving water resources.
Policy SC 1.3	Encourage the use of more environmentally friendly storm water management techniques such as bioswales, permeable surfaces and other methods as they are developed, in all new development.	This Specific Plan area's storm water management system incorporates two above ground retention ponds as well as one underground infiltration basin. Refer to Section III. E. Drainage Plan for more detailed information.

Policy SC 1.5	All new development shall include resource efficient development principles.	The development will meet CALGreen and California Building Energy Efficiency Standards. These codes are designed to provide increasingly stringent energy efficiency standards, leading to eventual requirements for net zero construction.
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<b>ECONOMIC DEVELOPMENT ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal ED-1	A balanced and varied economic base which provides fiscal stability to the City, and a broad range of goods and services to its residents and the region.	
Policy ED-1.1	The Land Use Element shall maintain a balance of land use designations to address economic needs, meet market demand, and assure a wide range of development opportunities.	The Specific Plan provides mixed use development standards and design guidelines that provide development flexibility to assure future projects are designed to meet market demand and provide a wide range of development opportunities.

<b>HOUSING ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal H-1	Provide housing opportunities that meet the diverse needs of the City's existing and projected population.	
Policy H 1.3	Direct new housing development to viable areas where essential public facilities can be provided and employment opportunities, educational facilities, and commercial support are available.	The Specific Plan area is located in an established neighborhood in close proximity to employment opportunities, educational facilities, and commercial goods and services. Existing onsite uses offer commercial goods and services, and a commercial retail center is located directly adjacent to the site. Public elementary and middle schools are within 1.0 mile of the Specific Plan area and La Quinta High School is approximately 1.6 miles from the site. Desert Sands Unified School District office, La Quinta Resort and Walmart Supercenter, the City's three largest employers are all located within 6.0 miles from the site.
Goal H-2	Assist in the creation and provision of resources to support housing for lower and moderate-income households.	
Policy H 2.1	Increase housing choices for lower and moderate-income households.	As of 2019, 78% of the City's housing stock was made up of single-family detached product type. This product type is typically more expensive than other product types (condominiums, townhomes, and apartments). The Specific Plan will provide development opportunity for underserved, less expensive housing types (condominiums, townhomes, and apartments).
Goal H-3	Create a regulatory system that does not unduly constrain the maintenance, improvement, and development of housing affordable to all La Quinta residents.	

Policy H 3.1	Remove unnecessary regulatory constraints to enable the construction or rehabilitation of housing that meets the needs of La Quinta residents, including lower income and special needs residents.	The Specific Plan will allow the development of underserved, less expensive housing types (condominiums, townhomes, and apartments) in the City.
Goal H-6	Provide a regulatory framework that facilitates and encourages energy and water conservation through sustainable site planning, project design, and green technologies and building materials.	
Policy H 6.1	Promote higher density and compact developments that increase energy efficiency and reduce land consumption.	The Specific Plan allows high density residential development (12 – 24 units per acre) on site. The Specific Plan envisions a clustering of units of varying product types in a compact footprint designed to increase energy efficiency and reduce land consumption.
Policy H-6.4	Focus sustainability efforts on measures and techniques that also assist the occupant in reducing energy costs; therefore, reducing housing costs.	The Specific Plan will incorporate CALGreen and California Building Energy Efficiency Standards. Housing will incorporate high efficiency plumbing fixtures, energy efficient lighting fixtures and appliances, energy efficient windows and drought tolerant landscaping with low flow watering systems. Additionally, electric vehicle plug in stations will be provided for select residential units.

<b>AIR QUALITY ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal AQ-1	A reduction in all air emissions generated within the City.	
Policy AQ 1.3	Work to reduce emissions from mobile sources by encouraging a decrease in the number of vehicle trips and vehicle miles traveled.	Mixed-use development in the Specific Plan area would reduce the amount of vehicle trips and VMT by locating residents in proximity to services, employment, and public transportation. Additionally, alternative forms of travel (walking and cycling) shall be encouraged through use of pedestrian connections provided to surrounding areas. Providing a pedestrian access network to link areas of the project site encourages people to walk instead of drive. The project would provide a pedestrian access network that internally links all uses and connects to all existing or external streets and pedestrian facilities contiguous with the project site.
Policy AQ 1.5	Ensure all construction activities minimize emissions of all air quality pollutants.	All construction activities will abide by construction requirements set forth by the City including the Fugitive Dust Control regulations.
Policy AQ 1.6	Proposed development air quality emissions of criteria pollutants shall be analyzed under CEQA.	The project will be analyzed under the provisions of CEQA.

Policy AQ 1.7	Greenhouse gas emissions associated with a development project shall demonstrate adherence to the City’s GHG Reduction Plan.	The proposed PA2 multifamily plan has been analyzed for greenhouse gas emissions. The project is expected to result in GHG emissions totaling 646.43 MTCO <sub>2</sub> e per year from construction, area, energy, mobile sources, waste, and water usage sources, which is considerably below the pertinent screening level of 3,000 MTCO <sub>2</sub> e per year in compliance with AB 32, EO S-3-05, and the City’s GHG Reduction Plan. As a result, the project is not expected to conflict with any applicable plan, policy, or regulation for the purpose of reducing GHG emissions.
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<b>BIOLOGICAL RESOURCES ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal BIO-1	The protection and preservation of native and environmentally significant biological resources and their habitats.	The protection and preservation of native and environmentally significant biological resources and their habitats.
Policy BIO 1.4	Comply with the requirements of the Migratory Bird Treaty Act (MBTA).	Development projects shall comply with the requirements of the Migratory Bird Treaty Act (MBTA).
Policy BIO 1.6	Native desert plant materials should be incorporated into new development projects to the greatest extent possible. Invasive, non-native species shall be discouraged.	The Landscape Guidelines for this Specific Plan include a California native and drought tolerant landscape palette. The landscaping will be consistent and compatible with the surrounding context.

<b>CULTURAL RESOURCES ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal CUL- 1	The protection of significant archaeological, historic and paleontological resources which occur in the City.	The protection of significant archaeological, historic and paleontological resources which occur in the City.
Policy CUL 1.1	All reasonable efforts should be made to identify archaeological and historic resources in the City.	<p>On November 15, 2022, CRM Tech conducted a field inspection of the PA2 project area. At that time, no historical/archaeological features or artifact deposits were encountered on the ground surface, which has been extensively disturbed by past grading, excavation, and other development activities. Currently an asphalt-paved parking lot occupies the northeastern and southwestern portions of the project area, with engineered earthen pads making up the rest of the acreage.</p> <p>Although the most recent field survey did not find any evidence of any cultural resources, the site has been sensitive for archaeological resources and could potentially contain additional subsurface archaeological resources. Therefore, mitigation in the form of a qualified archaeological and Tribal</p>

		<p>monitor during the excavation of any area located outside of the designated pad areas shall be required. With this mitigation measure, impacts to historical and archaeological resources are less than significant.</p>
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<b>WATER RESOURCES ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal WR-1	The efficient use and conservation of the City’s water resources.	
Policy WR 1.4	Protect storm water from pollution and encourage its use to recharge the aquifer.	The development is required to prepare a Storm Water Pollution Prevention Plan (SWPPP) that complies with the La Quinta Drainage Area Management Plan (DAMP).

<b>NOISE ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal N-1	A healthful noise environment which complements residential and resort character.	
Policy N 1.1	Noise standards in the City shall be consistent with the Community Noise and Land Use Compatibility scale described in this Element.	Block walls (noise barriers) and rooftop parapet walls will be provided to protect neighboring homes from noise sources. Mechanical ventilation systems will be installed to permit windows to remain closed for prolonged periods of time to ensure traffic noise will not exceed interior noise standards.
Policy N 1.2	New residential development located adjacent to any roadway identified in Table IV-4 as having a build out noise level in excess of 65 dBA shall continue to be required to submit a noise impact analysis in conjunction with the first Planning Department application, which demonstrates compliance with the City’s noise standards.	Through the completion of a Final Acoustical Report once plans are finalized, the project will comply with City noise standards.
Policy N 1.3	New non-residential development located adjacent to existing residential development, sensitive receptors or residentially designated land, shall be required to submit a noise impact analysis in conjunction with the first Planning Department application, which demonstrates that it will not significantly impact the adjacent residential development or residential land.	LSA completed a Noise and Vibration Impact Analysis to identify the Specific Plan’s noise impacts on the neighboring sensitive receptors. The Noise and Vibration Impact Analysis demonstrates the proposed PA2 development will generate less than significant impacts on those sensitive receptors due to operations of rooftop mechanical ventilation equipment as levels will be below the applicable daytime and nighttime hourly noise level standards.



Policy N I.4	All Mixed Use projects shall be required to submit a noise impact analysis in conjunction with the first Planning Department application, which demonstrates compliance with the City’s noise standards.	The project will comply with City noise standards.
Policy N I.5	All noise impact analysis will include, at a minimum, short-term construction noise and noise generated by the daily operation of the project at build out.	LSA completed a Noise and Vibration Impact Analysis to identify the Specific Plan’s noise impacts on the neighboring sensitive receptors. The Noise and Vibration Impact Analysis demonstrates the proposed PA2 development will generate less than significant impacts on those sensitive receptors with the implementation of construction vibration mitigation measures. These mitigation measures will be implemented during construction.

<b>SOILS AND GEOLOGY ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal GEO-1	Protection of the residents’ health and safety, and of their property, from geologic and seismic hazards.	
Policy GEO I.4	The City shall require that all new structures be built in accordance with the latest adopted version of the Building Code.	All new development will require building permits subject to the latest California Building Code Standards.

<b>FLOODING AND HYDROLOGY ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal FH-1	Protection of the health, safety, and welfare of the community from flooding and hydrological hazards.	
Policy FH I.6	Major drainage facilities, including debris basins, retention/detention basins, and flood control facilities shall provide for the enhancement of wildlife habitat and community open space to the greatest extent feasible, while still maintaining their functional qualities.	The existing above ground drainage retention basins will remain in place. The basins are not designed for recreational use but will remain open to wildlife habitat.

<b>EMERGENCY SERVICES ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal ES-1	An effective and comprehensive response to all emergency service needs.	
Policy ES I.2	New development proposals shall continue to be routed to the Fire Department to assure that project access and design provide for maximum fire and life safety.	All construction permits shall be subject to Fire Department review to assure necessary safety standards are met.

Policy ES 1.6	New development proposals shall continue to be routed to the Police Department to assure that project access and design provide for defensible space and maximum crime prevention while maintaining City design standards and codes.	Development proposals shall be reviewed by the Police Department to assure necessary safety standards are met.
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<b>WATER, SEWER AND OTHER UTILITIES ELEMENT</b>		
<b>Policy No.</b>	<b>Policy</b>	<b>Consistency</b>
Goal UTL-1	Domestic water facilities and services which adequately serve the existing and long-term needs of the City.	
Policy UTL 1.3	New development shall reduce its projected water consumption rates over “business-as-usual” consumption rates.	All development is required to meet CALGreen requirements with the required use of low-flow fixtures and water efficient landscape and irrigation.
Goal UTL-2	Sanitary sewer facilities and services which adequately serve the existing and long-term needs of the City.	
Policy UTL 2.1	All new development should be required to connect to sanitary sewer service.	All development within the Specific Plan area will connect to existing onsite sanitary sewer service lines.